

## RESOLUTION NO. 2022-106

### A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ELK GROVE FINDING NO FURTHER ENVIRONMENTAL REVIEW IS REQUIRED PURSUANT TO STATE CEQA GUIDELINES SECTIONS 15162 AND 15183 AND APPROVING A MAJOR DESIGN REVIEW WITH DEVIATIONS, TENTATIVE PARCEL MAP, DENSITY BONUS, AND TREE REMOVAL PERMIT FOR THE POPPY GROVE APARTMENTS PROJECT (PLNG21-078) LOCATED AT 10149 BRUCEVILLE ROAD (APN: 132-0050-161-0000)

**WHEREAS**, the Development Services Department of the City of Elk Grove (the “City”) received an application on December 28, 2021, from Poppy Grove Development Partners LLC (the “Applicant”) requesting a Major Design Review with Deviations, Tentative Parcel Map, Density Bonus, and Tree Removal Permit for the Poppy Grove Apartments Project (the “Project”); and

**WHEREAS**, the proposed Project is located on real property in the incorporated portions of the City, more particularly described as APN: 132-0050-161-0000; and

**WHEREAS**, the Development Services Department considered the Project request pursuant to the Elk Grove General Plan, the Elk Grove Municipal Code (EGMC) Title 23 (Zoning), Title 22 (Land Development), the Laguna Ridge Specific Plan, the Elk Grove Design Guidelines, and all other applicable state and local regulations; and

**WHEREAS**, the Planning Commission held a duly-noticed public hearing on April 21, 2022, as required by law to consider all of the information presented by staff, information presented by the Applicant, and public testimony presented in writing and at the meeting, and voted 5-0 to recommend approval of the Project to the City Council; and

**WHEREAS**, the City Council held a duly-noticed public hearing on May 11, 2022, as required by law to consider all of the information presented by staff, information presented by the Applicant, and public testimony presented in writing and at the meeting.

**NOW, THEREFORE, BE IT RESOLVED**, that the City Council of the City of Elk Grove hereby finds that no further environmental review is necessary from the provisions of CEQA under State CEQA Guidelines Section 15162 (Subsequent EIRs and Negative Declarations) and Section 15183 (Projects Consistent with a Community Plan, General Plan, or Zoning) based upon the following findings:

#### **CEQA**

Finding: Finding that no further environmental review is necessary under CEQA pursuant to State CEQA Guidelines Section 15162 (Subsequent EIRs and Negative Declarations) and Section 15183 (Projects Consistent with a Community Plan, General Plan, or Zoning).

Evidence: CEQA requires analysis of agency approvals of discretionary “projects.” A “project,” under CEQA, is defined as “the whole of an action, which has a potential for resulting in either a direct physical change in the environment, or a reasonably foreseeable indirect physical change in the environment” (State CEQA Guidelines Section 15378). The proposed Project is a project under CEQA.

No further environmental review is required under CEQA pursuant to State CEQA Guidelines 15162 (Subsequent EIRs and Negative Declarations). State CEQA Guidelines Section 15162 provides that when an EIR has been certified for an adopted project, no subsequent EIR shall be prepared for that project unless the lead agency determines, on the basis of substantial evidence in light of the whole record, that one or more of the following exists:

1. Substantial changes are proposed in the project which will require major revisions of the previous EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects;
2. Substantial changes occur with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or
3. New information of substantial importance, which was not known and could not have been known with exercise of reasonable diligence at the time of the previous EIR was certified as complete shows any of the following:
  - a. The project will have one or more significant effects not discussed in the previous EIR;
  - b. Significant effects previously examined will be substantially more severe than shown in the previous EIR.
  - c. Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative; or
  - d. Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR would substantially reduce one or more significant effects on the environment, but the project proponents decline to adopt the mitigation measures or alternative.

In 2003, the City Council certified an EIR for the Laguna Ridge Specific Plan (LRSP, State Clearinghouse No. 2000082139). The LRSP EIR analyzed full buildout of LRSP based upon the land plan, development standards, and policies contained in the General Plan and LRSP, as well as the improvements identified in the accompanying infrastructure master plans. The Project is subject to the LRSP Mitigation, Monitoring and Reporting Program (MMRP). Adopted Laguna Ridge Specific Plan mitigation measures that apply to development on Project site (which is identified in the EIR as a non-participating property) include the following:

**Mitigation Measure 4.3.2:** The project applicant shall implement all measures proposed in the AQ-15 Plan provided in Appendix 4.3 of the Draft EIR for each subsequent project to reduce emissions from both mobile and stationary sources. Each subsequent development project shall be checked for compliance with the AQ-15 Plan.

**Mitigation Measure 4.5.3a:** As part of subsequent applications on non-participating properties, the project applicant shall provide the City with a Phase I Site Assessment to determine whether ash or a former burn site is present on the subject property.

**Mitigation Measure 4.10.1a:** Prior to subsequent approvals on non-participating properties, a detailed cultural resources field survey of the subject property shall be conducted by the City and funded by the project applicant. The cultural resources field study shall identify any cultural resource finds and will set out measures to mitigate any impacts to significant resources as defined by CEQA, California Register of Historic Resources and/or National Historic Preservation Act. Mitigation methods to be employed include, but are not limited to, the following:

- Redesign of the subsequent development project to avoid the resource. The resource site shall be deeded to a non-profit agency to be approved by the City for maintenance of the site.
- If avoidance is determined infeasible by the City, then the resource shall be mapped, stabilized, and capped pursuant to appropriate standards.
- If the City determines capping infeasible, then the resource shall be excavated and recorded to appropriate standards

Pursuant to the required Mitigation Measures, the Applicant has provided a Phase I Site Assessment as well as a Cultural Resources Analysis for the site (Helix Environmental Planning, Inc.) which was peer reviewed by the City. The review concluded that there would be no effect on historic properties, including archaeological and built-environment resources, as a result of Project implementation. The Wilton Rancheria requested tribal monitoring during any ground disturbance due to the proximity of the site to the Stone Lakes Wildlife refuge as well as two other culturally significant site within two miles. The implementation of Conditions of Approval Nos. 10-12 will address the potential for encountering undiscovered cultural resources and tribal cultural resources. The Project complies with the LRSP AQ-15 Plan which includes measures to reduce vehicle emissions such as the provision of enhanced bicycle and pedestrian access, and the provision of electric vehicle charging facilities.

Additionally, staff finds that no further environmental review is required under State CEQA Guidelines Section 15183 (Consistency with a General Plan, Community Plan, or Zoning). State CEQA Guidelines Section 15183 (Public Resources Code §21083.3), provides that projects which are consistent with a Community Plan, General Plan, or Zoning for which an environmental impact report (EIR) has been certified “shall not require additional environmental review, except as might be necessary to examine whether there are project-specific significant effects which are peculiar to the project or its site.” An EIR was prepared and certified by the City Council as part of the City’s General Plan Housing Element Update in 2021 SEIR (SCH No. 2020069032), which analyzed the Project site for the development of high-density residential housing. In February 2019, the City Council adopted a new General Plan which relied on Vehicle Miles Traveled (VMT) as a measure of transportation impacts. The Project is high density low-income housing on a high density housing site as designated in the Housing Element, therefore the Project is exempt from VMT analysis pursuant to the City’s adopted Transportation Analysis Guidelines.

No potential new impacts related to the Project have been identified that would necessitate further environmental review beyond the impacts and issues already disclosed and analyzed in the General Plan Housing Element SEIR and the LRSP EIR. No other special circumstances exist that would create a reasonable possibility that the Project will have a significant adverse effect on the environment. Therefore,

the prior EIRs are sufficient to support the proposed action and pursuant to State CEQA Guidelines Section 15183 and Section 15162, no further environmental review is required.

**AND, BE IT FURTHER RESOLVED**, that the City Council of the City of Elk Grove hereby approves the Major Design Review with Deviations, Tentative Parcel Map, Density Bonus, and Tree Removal Permit for the Poppy Grove Apartments Project (PLNG21-078), as described in Exhibit A and illustrated in Exhibit B, subject to the conditions of approval in Exhibit C (all incorporated herein by this reference), based upon the following findings:

### **Major Design Review**

Finding #1: The proposed project is consistent with the objectives of the General Plan, complies with applicable Zoning regulations, Elk Grove Design Guidelines, and Improvement Standards adopted by the City.

Evidence #1: The Project requires approval of a Major Design Review for a 387-unit multi-family development. The Project plans have been reviewed in accordance with the General Plan, Zoning Code, and Elk Grove Design Guidelines. The proposed Project is consistent with the following General Plan Policies:

**Policy LU-2-1**: Promote a greater concentration of high-density residential, office commercial or mixed-use sites and the population along identified transit corridors and existing commercial corridors, in activity centers, and at other appropriate locations.

**Policy LU-2-4**: Require new infill development projects to be compatible with the character of surrounding areas and neighborhoods, support increased transit use, promote pedestrian and bicycle mobility, and increase housing diversity.

Additionally, the Project complies with the development standards of Title 23, Zoning, including setbacks, height limits, landscaping requirements, and bicycle parking requirements with approval of the Design Review Deviations as detailed in Table 2 of the Project's staff report. The Project design includes a variety of building materials, including grey brick veneer, fiber cement siding, stucco, and vinyl windows. Overall, the building design strategically gathers and breaks façade planes and roof lines to reduce the overall massing of the building. Parapets are raised at the building corners, highlighting the endcaps of the buildings. Taller parapets throughout building facades act as mechanical screening. Patios and balconies are structurally layered against the main building façade creating shadow lines, and shading opportunities for living rooms. Large parapet overhangs are located above the interior common amenity spaces, such as the fitness and yoga studios, pool clubroom, and co-working office spaces, signaling wayfinding and important gathering opportunities internal to the Project site. Colors include white, gray, blue-gray, tan and brown. Materials, detailing, and colors are carried over to all building facades. The Project's colors and materials are complementary to the surrounding neighborhood character, which is consistent with the requirements of the Elk Grove Design Guidelines.

Finding #2: The proposed architecture, site design, and landscape are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and community.



Evidence #2: The site plan, building elevations, and landscape plans have been reviewed in accordance with the Elk Grove Design Guidelines for multi-family development, and it is concluded that the architecture and site planning meet all applicable design requirements. The Project design includes a variety of building materials, including grey brick veneer, fiber cement siding, stucco, and vinyl windows. Overall, the building design strategically gathers and breaks façade planes and roof lines to reduce the overall massing of the building. Parapets are raised at the building corners, highlighting the endcaps of the buildings. Taller parapets throughout building facades act as mechanical screening. Patios and balconies are structurally layered against the main building façade creating shadow lines, and shading opportunities for living rooms. Large parapet overhangs are located above the interior common amenity spaces, such as the fitness and yoga studios, pool clubroom, and co-working office spaces, signaling wayfinding and important gathering opportunities internal to the Project site. Colors include white, gray, blue-gray, tan and brown. Materials, detailing, and colors are carried over to all building facades. The Project's colors and materials are complementary to the surrounding neighborhood character, which is consistent with the requirements of the Elk Grove Design Guidelines.

Finding #3: The architecture, including the character, scale, and quality of the design, relationship with the site and other buildings, building materials, colors, screening of exterior appurtenances, exterior lighting and signage and similar elements establishes a clear design concept and is compatible with the character of buildings on adjoining and nearby properties.

Evidence #3: The proposed Project has been designed consistent with the requirements of the Elk Grove Design Guidelines for multi-family development. The proposed architecture is a contemporary design incorporating craftsman-style design elements. The Project design includes a variety of building materials, including grey brick veneer, fiber cement siding, stucco, and vinyl windows. Overall, the building design strategically gathers and breaks façade planes and roof lines to reduce the overall massing of the building. Parapets are raised at the building corners, highlighting the endcaps of the buildings. Taller parapets throughout building facades act as mechanical screening. Patios and balconies are structurally layered against the main building façade creating shadow lines, and shading opportunities for living rooms. Large parapet overhangs are located above the interior common amenity spaces, such as the fitness and yoga studios, pool clubroom, and co-working office spaces, signaling wayfinding and important gathering opportunities internal to the Project site. Colors include white, gray, blue-gray, tan and brown. Materials, detailing, and colors are carried over to all building facades. The Project's colors and materials are complementary to the surrounding neighborhood character, which is consistent with the requirements of the Elk Grove Design Guidelines.

Finding #4: The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.

Evidence #4: The Project site includes pedestrian access points from the adjacent streets for pedestrian circulation to and throughout the site. Vehicle entryways are clearly defined to avoid circulation conflict. The Project proposal includes a combined, 7-foot separated multi-use path/sidewalk within the Project frontage on the south side Poppy Ridge Road along with a Class II bike lane. The Project also includes a 7-foot

separated sidewalk with a Class II bike lane on Bruceville Road, The bicycle and pedestrian circulation plan is supported by the City's Trails Committee and is consistent with the location of a multi-use path in the Bicycle, Pedestrian, and Trails Master Plan. Therefore, the Project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.

Finding #5: For residential subdivision design review applications, the residential subdivision is well integrated with the City's street network, creates unique neighborhood environments, reflects traditional architectural styles, and establishes a pedestrian friendly environment.

Evidence #5: The Project does not require a tentative subdivision map, therefore this finding is not applicable.

### **Tentative Parcel Map**

Finding: None of the findings (a) through (g) below in Section 66474 of the California Government Code that require a City to deny approval of a tentative map apply to this Project.

- a. That the proposed map is not consistent with applicable general and specific plans as specified in Section 65451.
- b. That the design or improvement of the proposed subdivision is not consistent with applicable general and specific plans.
- c. That the site is not physically suitable for the type of development.
- d. That the site is not physically suitable for the proposed density of development.
- e. That the design of the subdivision or the proposed improvements is likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.
- f. That the design of the subdivision or type of improvements is likely to cause serious public health problems.
- g. That the design of the subdivision or type of improvements will conflict with easements acquired by the public at large, for access through or use of, property within the proposed subdivision.

#### Evidence:

- (a) As described in the Project staff report, the proposed Project is consistent with the Elk Grove General Plan. The proposed map is consistent with the land use designation and policies in the Elk Grove General Plan, which has designated this site as Multi Family Residential.
- (b) As described in the Project staff report, the proposed Project, the proposed subdivision design, lot sizes, lot configurations, and proposed infrastructure improvements are consistent with EGMC Title 23, Zoning development standards, Title 22 (Land Development), and the General Plan land use designation for the proposed site.
- (c) The site is physically suitable for multi-family residential development. Access to the site is available from Bruceville Road, Poppy Ridge Road, and Charles Dawson Way, all public streets. Necessary services and facilities are available or can be provided. Therefore, the site is physically suitable for multi-family development.

- (d) Services and facilities to serve the Project, including water, sewer, electricity, and other utilities, are available. Therefore, the site is appropriate for the proposed density of development.
- (e) The Project site is not located in an environmentally sensitive area and no other special circumstances exist that would create a reasonable possibility that the Project will cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.
- (f) The design of the subdivision will not cause serious public health problems based upon the Project's consistency with EGMC Title 23, Zoning development standards and the General Plan land use designation for the site. The site has access to improved public roads and is not located within a flood plain.
- (g) The design of the subdivision will not conflict with easements acquired by the public at large as demonstrated by review of the Project by the City's Public Works Department.

### **Density Bonus**

Finding #1: The Project is eligible for a Density Bonus per the requirements of Elk Grove Municipal Code Chapter 23.50.

Evidence #1: Pursuant to EGMC Chapter 23.50, the City shall grant a Density Bonus, with concessions or incentives, when the Applicant agrees to construct a residential development that contains at least 10 percent of the total units of a housing development for lower-income households (defined as target units). The Project is proposed to provide 100 percent of the dwellings as target units. Therefore, the Project is eligible for a Density Bonus.

Finding #2: The City cannot make any of the findings specified in Chapter 23.50.070 of the Zoning Code which would preclude approval of a Density Bonus.

Evidence #2: Pursuant to EGMC Section 23.50.070(C), the City shall grant the incentive(s) and concession(s) requested by the Applicant unless the City makes a written finding, based upon substantial evidence, of any of the following:

- 1) The concession or incentive is not required in order to provide for affordable housing costs, as defined in Section 50052.5 of the Health and Safety Code, or for rents for the targeted units to be set as specified in subdivision (c).
- 2) The concession or incentive would have a specific adverse impact, as defined in paragraph (2) of subdivision (d) of Section 65589.5 of the California Government Code, upon public health and safety or the physical environment or on any real property that is listed in the California Register of Historical Resources and for which there is no feasible method to satisfactorily mitigate or avoid the specific adverse impact without rendering the development unaffordable to low- and moderate-income households.
- 3) The concession or incentive would be contrary to State or Federal law.

None of these deterrent findings would be applicable to the proposed request. The concession or incentive is required in order to provide for affordable housing costs, as the units could not be constructed at the density required by the Housing Element without the proposed reductions in parking. The concessions or incentives would not have a specific adverse impact upon public health and safety or the physical

environment. The Project proposes the following unit counts: 74 one-bedroom units, 151 two-bedroom units, and 162 three-bedroom units. Therefore, based on the alternative parking ratios allowed through the Density Bonus concessions, the Project would require 544 on-site parking spaces. The Project proposes 545 parking spaces, which is consistent with the Density Bonus parking standards. The proposed parking concession is not contrary to any state or federal law.

### Tree Removal Permit

Finding #1: For development projects, every effort has been made to integrate the existing tree(s) into project design, including the use of minor deviations and/or variances.

Evidence: The Project site contains 161 trees. There are 49 trees of local importance on the Project site. Trees of local importance that are greater than six inches in diameter may only be removed with the approval of a Tree Removal Permit. Due to the location of the trees in the middle of the Project site and along the existing Bruceville Road frontage, the Project will remove 36 trees of local importance. Thirteen trees of local importance are not proposed for removal. Of the 36 trees proposed for removal, seven are dead or diseased. There are a number of other trees on site that are not trees of local importance and may be removed without a Tree Removal Permit. Staff supports the tree removal request as the trees are either located at the center of the site or are impacted by the proposed widening of Bruceville Road as identified in the City's General Plan. Due to the location of the trees and the required density of the Project site, the trees cannot be integrated into the existing site design. The Project is subject to the mitigation requirements for tree removal pursuant to Chapter 19.12 of the EGMC.

Finding #2: The effect of the removal of the trees will not negatively impact the health, safety, and prosperity of surrounding trees, or the aesthetics and general welfare of the area.

Evidence: The trees proposed for removal are not located immediately adjacent to any other trees. Therefore, the removal will not negatively impact the health, safety, or prosperity of surrounding trees, or the aesthetics and general welfare of the area. Due to the location of the trees and the required density of the Project site, the trees cannot be integrated into the existing site design. Furthermore, the Applicant is subject to the mitigation requirements for tree removal per EGMC Chapter 19.12.

**PASSED AND ADOPTED** by the City Council of the City of Elk Grove this 11<sup>th</sup> day of May 2022




BOBBIE SINGH-ALLEN, MAYOR of the  
CITY OF ELK GROVE

ATTEST:



JASON LINDGREN, CITY CLERK

APPROVED AS TO FORM:



JONATHAN P. HOBBS,  
CITY ATTORNEY

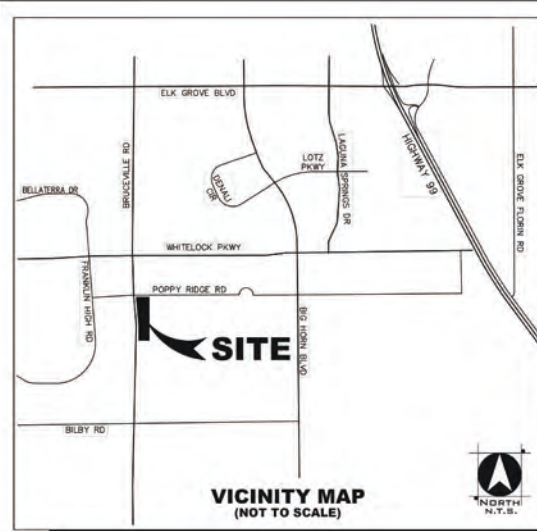
**Exhibit A**  
**Poppy Grove Apartments (PLNG21-078)**  
**Project Description**

**PROJECT DESCRIPTION**

The proposed Poppy Grove Apartments Project consists of a Major Design Review with Deviations for a new 387-unit apartment development to be developed in three phases. The Project also includes a Tentative Parcel Map, Density Bonus to allow a concession/incentive for reduced parking, and Tree Removal Permit.

The Project shall comply with the City's Climate Action Plan (CAP) for new multi-family development, including CAP measures related to energy efficiency (BE-4), electric appliances (BE-6), off-road construction fleet (TACM-8), and electric vehicle charging (TACM-9).





VICINITY MAP  
(NOT TO SCALE)



**PROJECT INFORMATION**

**OWNER**  
THE NHO PHAM AND SUONG NGUYEN  
REVOCABLE LIVING TRUST  
9966 WEXFORD CIRCLE  
GRANITE BAY, CA 95746  
ATTN: NHO PHAM & SUONG NGUYEN

**DEVELOPER/APPLICANT**  
POPPY GROVE DEVELOPMENT  
PARTNERS, LLC  
805 14TH STREET, SUITE 800  
OAKLAND, CA 94612  
ATTN: MICHAEL JOHNSON

**ENGINEER**  
TSD ENGINEERING, INC.  
785 ORCHARD DR, SUITE 410  
FOLSOM, CA 95630  
ATTN: CHRIS SCHULZE

**ARCHITECT**  
HED  
350 SOUTH HOPE STREET, SUITE 2500  
LOS ANGELES, CA 90071  
ATTN: CHRISTOPHER COATES

**LANDSCAPE ARCHITECT**  
WILSON DESIGN STUDIO  
1601 ALHAMBRA BLVD., SUITE 100  
SACRAMENTO, CA 95816  
ATTN: KEITH WILSON

**ASSESSORS PARCEL NO**  
123005-011  
TOTAL PROPERTY AREA:  
+16.73 ACRES - GROSS  
+14.02 ACRES - NET

**ZONING**  
RD30 HIGH DENSITY RESIDENTIAL  
LAGUNA RIDGE - SPECIFIC PLAN

**GENERAL PLAN**  
HIGH DENSITY RESIDENTIAL #100

**UTILITY PROVIDERS**

**PARK DISTRICT**  
CITY OF ELK GROVE

**SCHOOL DISTRICT**  
ELK GROVE UNIFIED SCHOOL DISTRICT

**WATER**  
ZONE 10

**SANITARY SEWER**  
SACRAMENTO AREA SEWER DISTRICT

**STORM DRAIN**  
CITY OF ELK GROVE - PUBLIC WORKS

**GAS**  
PG&E

**ELECTRIC**  
SM&D

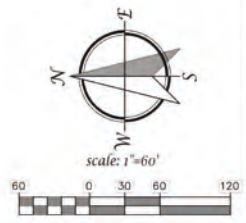
**TELEPHONE**  
FRONTIER COMMUNICATIONS

**CABLE**  
AT&T BROADBAND

**FIRE**  
CSD FIRE DEPARTMENT

**REFUSE**  
CITY OF ELK GROVE - RECYCLE & WASTE

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POPPY GROVE APARTMENTS

C0.0

Elk Grove, CA

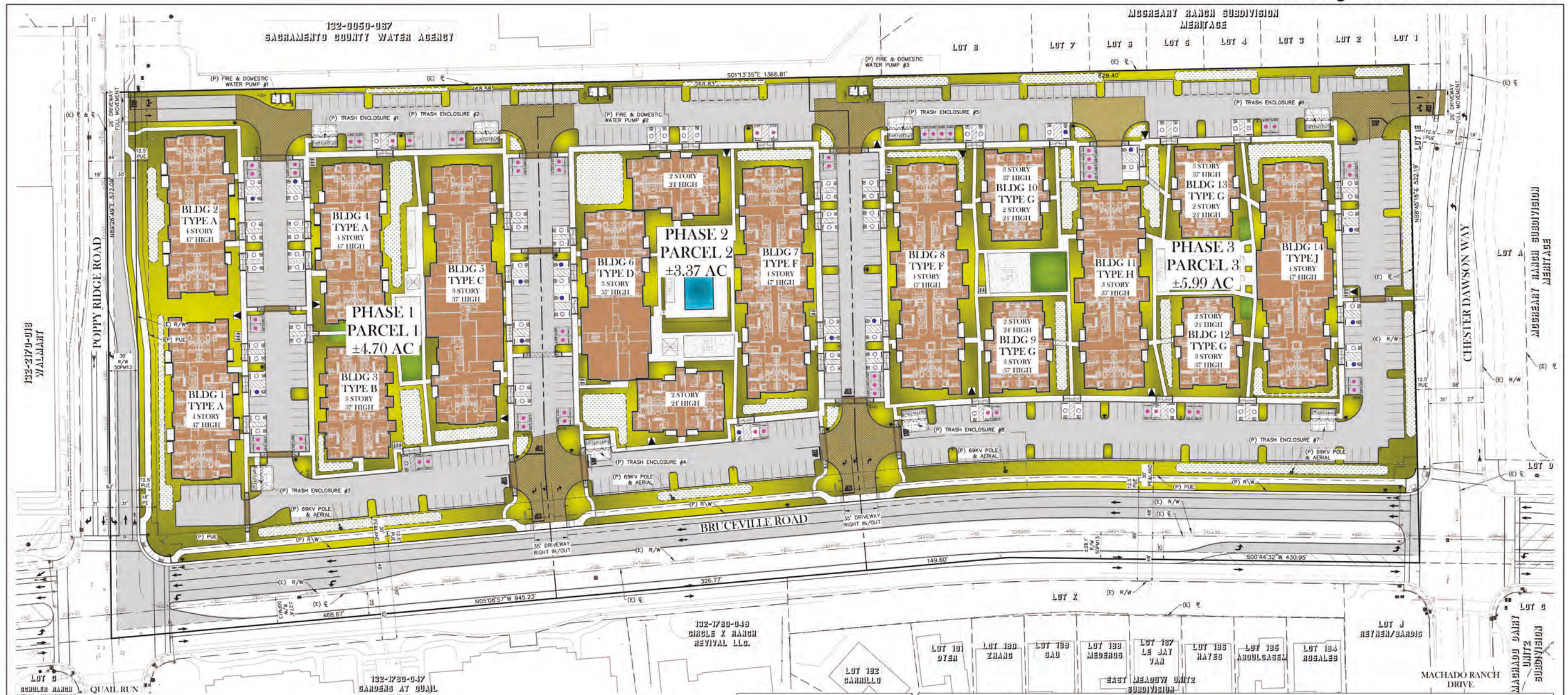
Proposed By: Poppy Grove Development Partners, LLC

In Association With:  
HED (Architects), TSD Engineering, Inc. (Civil)  
& Wilson Design Studio (Landscape Architecture)



APRIL 5, 2022 - FOURTH SUBMITTAL





**PROJECT SUMMARY - PHASE 1**

AREA (GROSS) = 33.84 acres  
AREA (NET) = 24.70 acres

**UNIT SUMMARY**

1-BEDROOM	28
2-BEDROOM	60
3-BEDROOM	179
<b>TOTAL UNITS</b>	<b>147</b>

**PARKING SUMMARY**

REQUIRED PARKING (PER INFORMABLE HOUSING CODES)	147
1-BEDROOM (1 UNIT)	28
2 & 3-BEDROOM (1.2 PER UNIT)	179
<b>TOTAL REQUIRED PARKING SPACES</b>	<b>222</b>

**PROPOSED PARKING**

STANDARD PARKING	168
COMPACT PARKING	15
ACCESSIBLE STALLS (1 PER STALL)	6
MOBILITY PARKING (24 SPACES)	24
<b>TOTAL PROPOSED PARKING SPACES</b>	<b>222</b>

**CALCULATED REQUIREMENTS**

ELECTRIC VEHICLE CHARGING SPACES (1.5% OF 207 SPACES EV CAPABLE)	16
(2.5% OF 207 SPACES EV INSTALLED)	3
<b>TOTAL PROPOSED EV CAPABLE</b>	<b>22</b>

**BIKE PARKING SUMMARY**

REQUIRED BIKE PARKING (1 PER 20 SPACES)	11
(1 SPACE PER 3 UNITS)	49
<b>TOTAL PROPOSED BIKE PARKING</b>	<b>50</b>

**PROJECT SUMMARY - PHASE 2**

AREA (GROSS) = 33.92 acres  
AREA (NET) = 23.37 acres

**UNIT SUMMARY**

1-BEDROOM	16
2-BEDROOM	32
3-BEDROOM	34
<b>TOTAL UNITS</b>	<b>82</b>

**PARKING SUMMARY**

REQUIRED PARKING (PER INFORMABLE HOUSING CODES)	82
1-BEDROOM (1 UNIT)	16
2 & 3-BEDROOM (1.2 PER UNIT)	99
<b>TOTAL REQUIRED PARKING SPACES</b>	<b>115</b>

**PROPOSED PARKING**

STANDARD PARKING	85
COMPACT PARKING	4
ACCESSIBLE STALLS (1 PER STALL)	4
MOBILITY PARKING (15 UNITS)	15
<b>TOTAL PROPOSED PARKING SPACES</b>	<b>116</b>

**CALCULATED REQUIREMENTS**

ELECTRIC VEHICLE CHARGING SPACES (1.5% OF 116 SPACES EV CAPABLE)	9
(2.5% OF 116 SPACES EV INSTALLED)	3
<b>TOTAL PROPOSED EV CAPABLE</b>	<b>12</b>

**BIKE PARKING SUMMARY**

REQUIRED BIKE PARKING (1 PER 20 SPACES)	6
(1 SPACE PER 3 UNITS)	28
<b>TOTAL PROPOSED BIKE PARKING</b>	<b>28</b>

**PROJECT SUMMARY - PHASE 3**

AREA (GROSS) = 46.97 acres  
AREA (NET) = 35.99 acres

**UNIT SUMMARY**

1-BEDROOM	30
2-BEDROOM	80
3-BEDROOM	68
<b>TOTAL UNITS</b>	<b>158</b>

**PARKING SUMMARY**

REQUIRED PARKING (PER INFORMABLE HOUSING CODES)	158
1-BEDROOM (1 UNIT)	30
2 & 3-BEDROOM (1.2 PER UNIT)	192
<b>TOTAL REQUIRED PARKING SPACES</b>	<b>222</b>

**PROPOSED PARKING**

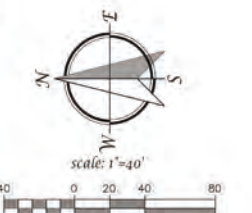
STANDARD PARKING	176
COMPACT PARKING	20
ACCESSIBLE STALLS (1 PER STALL)	6
MOBILITY PARKING (26 UNITS)	26
<b>TOTAL PROPOSED PARKING SPACES</b>	<b>222</b>

**CALCULATED REQUIREMENTS**

ELECTRIC VEHICLE CHARGING SPACES (1.5% OF 222 SPACES EV CAPABLE)	17
(2.5% OF 222 SPACES EV INSTALLED)	3
<b>TOTAL PROPOSED EV CAPABLE</b>	<b>23</b>

**BIKE PARKING SUMMARY**

REQUIRED BIKE PARKING (1 PER 20 SPACES)	11
(1 SPACE PER 3 UNITS)	53
<b>TOTAL PROPOSED BIKE PARKING</b>	<b>54</b>



**OVERALL DEVELOPMENT SUMMARY**

**ADDRESS:** 10149 BRUCEVILLE RD  
**APN:** 132-0050-161  
**ZONING:** R0-30  
**AREA GROSS:** 216.73 acres  
**AREA NET:** 141.06 acres  
(NET AREA SUBTRACTS R/W DEDEICATIONS)

**BUILDING SUMMARY**

UNIT COUNT: 387 UNITS  
DENSITY (NET): 27.5 UNITS/ACRE

**PARKING SUMMARY**

TOTAL: 545 SPACES

**SITE LEGEND:**

- IMPROVED PAVEMENT
- LANDSCAPE AREA
- RESERVED AREA
- BIKEWAY
- CONCRETE (DOOR PAVING)
- FINISHED PAVEMENT (ASPHALT/COLORADO DOOR PAVING)
- DOOR PAVING (DOOR PAVING)
- BIKEWAY PAVEMENT
- GRASS

**TENTATIVE MAP STATEMENT**

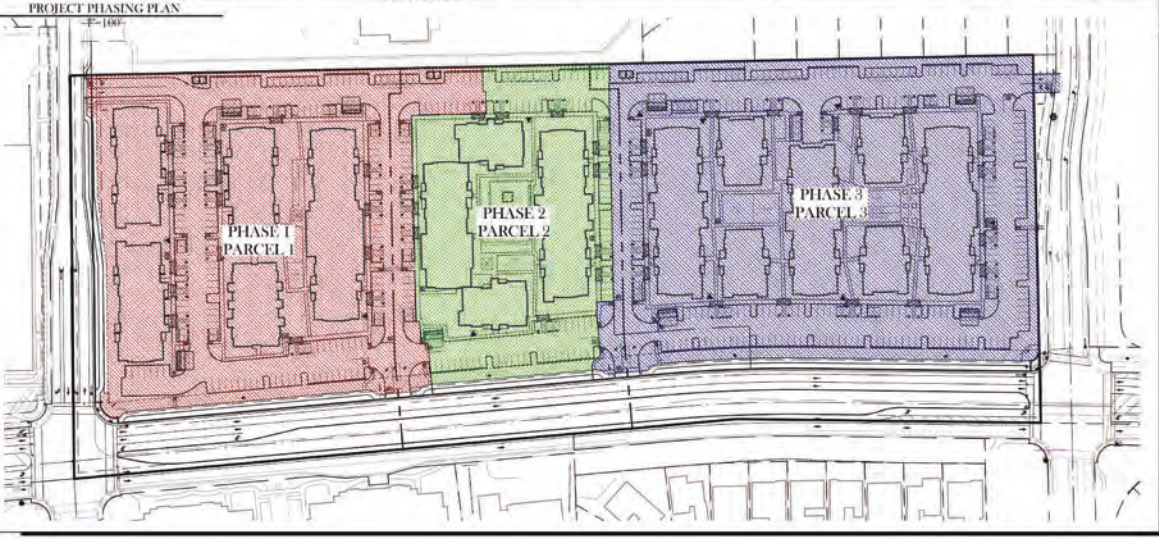
"THEY STATE THAT ALL EASEMENTS AS INDICATED IN THE FIRST AMENDED TITLE INSURANCE COMPANY PRELIMINARY TITLE REPORT NO. 2020 082421 DATED AUGUST 24, 2021 HAVE BEEN SHOWN HEREON AND HAVE BEEN ACCREDITED FOR IN-NOTE PLACED HEREON. ALL EASEMENTS PROPOSED TO BE ABANDONED OR QUIT CLAIMED AND/OR ALL EASEMENTS THAT CANNOT BE LOCATED ARE NOTED HEREON.

*J. E. Ke*  
SIGN      2/18/2022      DATE  
LICENSE REGISTRATION NO. 7375      EXPIRES: 12-31-2023

**CITY STANDARDS/DEVIATION STATEMENT**

ALL PROPOSED IMPROVEMENTS ARE IN COMPLIANCE WITH CURRENT CITY OF ELK GROVE STANDARDS AT THIS TIME, WITH THE EXCEPTIONS OF THE FOLLOWING DEVIATIONS:

1. 105 FOOT SETBACK FROM 1 STORY BUILDINGS TO SINGLE FAMILY RESIDENCE. PROJECT PROPOSES AND REQUESTS A 90 FOOT SETBACK.
2. 36 FOOT SETBACK ON BRUCEVILLE ROAD. PROJECT PROPOSES AND REQUESTS A 40 FOOT SETBACK.
3. 40 FOOT MAX BUILDING HEIGHT. PROJECT PROPOSES AND REQUESTS A 30 FOOT BUILDING HEIGHT.
4. 10 FOOT REAR YARD SETBACK ALONG THE S.W.A. PROPERTY. PROJECT PROPOSES AND REQUESTS A 5 FOOT REAR YARD SETBACK ALONG THE S.W.A. PROPERTY.
5. PRIVATE OPEN SPACE TO INCLUDE PATIOS/BALCONIES, INTERIOR COMMON AREAS, ACTIVE PASSIVE RECREATION AREAS, OUTDOOR AMENITIES, NATURAL OPEN SPACE, AND INCLUDES LANDSCAPE CORRIDORS ALONG STREET FRONTS.
6. PER COG IMPROVEMENT STANDARD (4-7-6) DEVIATION REQUEST TO TERMINATE THE RIGHT TURN ROCKET AT THE DRIVEWAYS ON BRUCEVILLE ROAD.
7. PER COG IMPROVEMENT STANDARD (4-7-6) DEVIATION REQUEST TO REDUCE THE THROAT DEPTH REQUIREMENT OF 30 FEET. PROJECT PROPOSES TO REDUCE TO 42 FEET. HOWEVER THE PROJECT PROPOSES BOUND LANS FOR A COMBINED THROAT DEPTH OF 64 FEET.
8. PER COG IMPROVEMENT STANDARD (4-7-6) DEVIATION REQUEST TO REDUCE THE THROAT DEPTH REQUIREMENT OF 30 FEET. PROJECT PROPOSES TO REDUCE TO 42 FEET. HOWEVER THE PROJECT PROPOSES BOUND LANS FOR A COMBINED THROAT DEPTH OF 64 FEET.



## POPPY GROVE APARTMENTS

Elk Grove, CA

Proposed By: Poppy Grove Development Partners, LLC

C 2.0

In Association With:  
HED (Architects), TSD Engineering, Inc. (Civil)  
& Wilson Design Studio (Landscape Architecture)



APRIL 5, 2022 - FOURTH SUBMITTAL



A-01a ARCHITECTURAL SITE PLAN
A-01b OPEN SPACE CALCULATIONS
A-02.1 UNIT PLANS
A-02.2 BUILDING PLAN - BLDG. A
A-02.3 BUILDING PLAN - BLDG. A
A-02.4 BUILDING PLAN - BLDG. A
A-02.5 BUILDING PLAN - BLDG. B
A-02.6 BUILDING PLAN - BLDG. B
A-02.7 BUILDING PLAN - BLDG. C
A-02.8 BUILDING PLAN - BLDG. C
A-02.9 BUILDING PLAN - BLDG. D (NORTH)
A-02.10 BUILDING PLAN - BLDG. D
A-02.11 BUILDING PLAN - BLDG. D (EASTWEST)
A-02.12 BUILDING PLAN - BLDG. F
A-02.13 BUILDING PLAN - BLDG. F
A-02.14 BUILDING PLAN - BLDG. F
A-02.15 BUILDING PLAN - BLDG. G
A-02.16 BUILDING PLAN - BLDG. H
A-02.17 BUILDING PLAN - BLDG. H
A-02.18 BUILDING PLAN - BLDG. J
A-02.19 BUILDING PLAN - BLDG. J
A-02.20 BUILDING PLAN - BLDG. J
A-03.1 BUILDING SECTIONS - BLDGS. A & B
A-03.2 BUILDING SECTIONS - BLDGS. C & D
A-03.3 BUILDING SECTIONS - BLDGS. E & G
A-03.4 BUILDING SECTIONS - BLDG. F
A-03.5 BUILDING SECTIONS - BLDGS. H & J
A-04.1 BUILDING ELEVATIONS - BLDG. A
A-04.2 BUILDING ELEVATIONS - BLDG. B
A-04.3 BUILDING ELEVATIONS - BLDG. C
A-04.4 BUILDING ELEVATIONS - BLDG. D
A-04.5 BUILDING ELEVATIONS - BLDG. D (EASTWEST)
A-04.6 BUILDING ELEVATIONS - BLDG. E
A-04.7 BUILDING ELEVATIONS - BLDG. G
A-04.8 BUILDING ELEVATIONS - BLDG. H
A-04.9 BUILDING ELEVATIONS - BLDG. J
A-05.1 ARCHITECTURAL PRECEDENTS
A-05.2 MATERIAL BOARD AND EXAMPLES
A-06.1 RENDERED PERSPECTIVES BLDG. A
A-06.2 RENDERED PERSPECTIVES BLDG. B
A-06.3 RENDERED PERSPECTIVES BLDG. C
A-06.4 RENDERED PERSPECTIVES BLDG. D
A-06.5 RENDERED PERSPECTIVES BLDG. D
A-06.6 RENDERED PERSPECTIVES BLDG. J

POPPY GROVE I, LP

URBAN CORE DEVELOPMENT, LLC  
4086 PIEDMONT AVENUE, SUITE 345  
OAKLAND, CA 94611

Poppy Grove Apartments Phase I

10149 BRUCEVILLE ROAD  
ELK GROVE, CA 95757

Date Issued For

UNIT COUNT TOTALS

Phase Created	Type	UNIT COUNT	100SF OPEN SPACE / UNIT
Phase I	18DR-740 SF	28	2800
Phase I	28DR-978 SF	45	4500
Phase I	28DR-993 SF	6	600
Phase I	28DR-1088 SF	8	800
Phase I	38DR-1243 SF	60	6000
		147	14700
Phase II	18DR-740 SF	16	1600
Phase II	28DR-978 SF	26	2600
Phase II	28DR-1008 SF	4	400
Phase II	28DR-1088 SF	2	200
Phase II	38DR-1243 SF	34	3400
		82	8200
Phase III	18DR-740 SF	30	3000
Phase III	28DR-978 SF	60	6000
Phase III	38DR-1243 SF	68	6800
		158	15800
		387	38700

SITEWIDE BICYCLE STORAGE

PHASE	Comments	LONG TERM	SHORT-TERM	TOTALS
Phase I	BICYCLE RACK	No	Yes	18
Phase I	BICYCLE LOCKER	Yes	No	32
				50
Phase II	BICYCLE RACK	No	Yes	8
Phase II	BICYCLE LOCKER	Yes	No	20
				28
Phase III	BICYCLE RACK	No	Yes	14
Phase III	BICYCLE LOCKER	Yes	No	40
				54

SITEWIDE PARKING TOTALS

PHASE	STALL TYPE	TOTALS
Phase I	EVCS Residential - 9' x 19'	20
Phase I	EVCS Residential Accessible - 9' x 19'	1
Phase I	EVCS Residential Accessible Van - 12' x 19'	1
Phase I	Residential - 9' x 19'	128
Phase I	Residential Accessible - 9' x 19'	28
Phase I	Residential Accessible Van - 12' x 19'	7
Phase I	Residential Compact - 9' x 16'	22
		207
Phase II	EVCS Residential - 9' x 19'	5
Phase II	EVCS Residential Accessible - 9' x 19'	1
Phase II	EVCS Residential Accessible Van - 12' x 19'	1
Phase II	Residential - 9' x 19'	80
Phase II	Residential Accessible - 9' x 19'	9
Phase II	Residential Accessible Van - 12' x 19'	2
Phase II	Residential Compact - 9' x 16'	17
		115
Phase III	EVCS Residential - 9' x 19'	28
Phase III	EVCS Residential Accessible Van - 12' x 19'	1
Phase III	Residential - 9' x 19'	142
Phase III	Residential Accessible - 9' x 19'	26
Phase III	Residential Accessible Van - 12' x 19'	6
Phase III	Residential Compact - 9' x 16'	19
		222
	1.4 STALLS / UNIT RATIO 544	

GROSS BUILDING AREAS

PHASE	AREA TYPE	TOTAL AREA
PHASE I	GROSS BALCONY/PATIO, PHASE 1	13530 SF
PHASE I	GROSS BALCONY/PATIO, PHASE 2	364 SF
PHASE I	GROSS CIRCULATION, PHASE 1	26643 SF
PHASE I	GROSS COMMUNITY, PHASE 1	5324 SF
PHASE I	GROSS RESIDENTIAL, PHASE 1	157528 SF
PHASE I	GROSS RESIDENTIAL, PHASE 2	7127 SF
		210515 SF
PHASE II	GROSS BALCONY/PATIO, PHASE 2	6062 SF
PHASE II	GROSS CIRCULATION, PHASE 2	16151 SF
PHASE II	GROSS COMMUNITY, PHASE 2	5944 SF
PHASE II	GROSS RESIDENTIAL, PHASE 2	81303 SF
		109461 SF
PHASE III	GROSS BALCONY/PATIO, PHASE 3	12856 SF
PHASE III	GROSS CIRCULATION, PHASE 3	31939 SF
PHASE III	GROSS COMMUNITY, PHASE 3	4937 SF
PHASE III	GROSS RESIDENTIAL, PHASE 3	171941 SF
		226773 SF
		541648 SF

HATCH LEGEND

COMMON BUILDING	2 BEDROOM UNIT
1 BEDROOM UNIT	3 BEDROOM UNIT

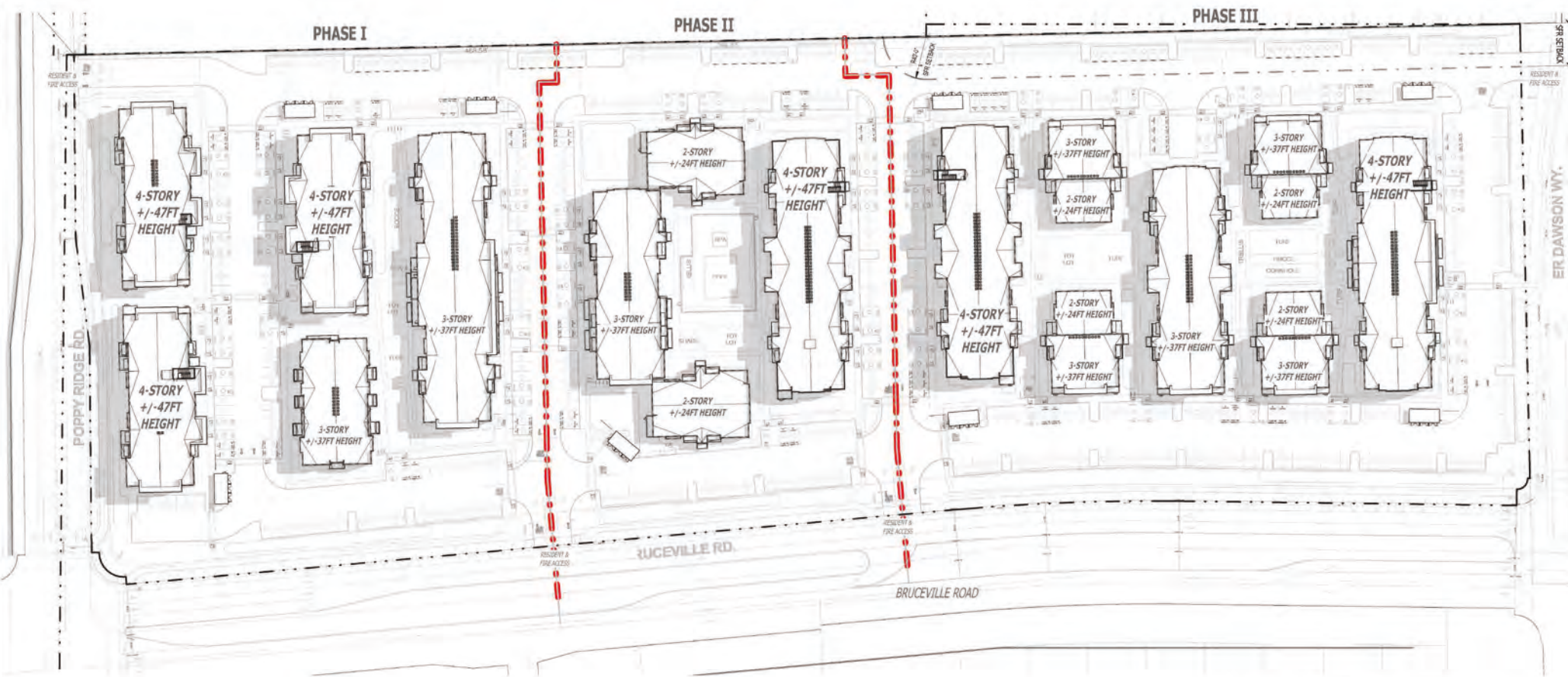
HED

550 South Hope Street  
Suite 2500  
Los Angeles, California  
90071 USA  
(213) 542-4500  
WWW.HED.DESIGN

2021-CA001-001

ARCHITECTURAL SITE PLAN

A-01a







4 BLDG. A - WEST ELEVATION  
1/8" = 1'-0" A-02.2



3 BLDG. A - EAST ELEVATION  
1/8" = 1'-0" A-02.2



2 BLDG. A - SOUTH ELEVATION  
1/8" = 1'-0" A-02.2



1 BLDG. A - NORTH ELEVATION  
1/8" = 1'-0" A-02.2

**MATERIAL KEYNOTES**

- 01 FIBER CEMENT BOARD PLANK SIDING; HORIZONTAL ORIENTATION; JAMES HARDIE ARTISAN BOARD; 6-INCH HEIGHTS; SMOOTH TEXTURE; SW7027 HICKORY SMOKE OR SIMILAR
- 02 FIBER CEMENT BOARD PLANK SIDING; VERTICAL ORIENTATION; JAMES HARDIE ARTISAN BOARD; 6-INCH HEIGHTS; SMOOTH TEXTURE; SW6542 VESPER VIOLET OR SIMILAR
- 03 FIBER CEMENT BOARD PLANK SIDING; HORIZONTAL ORIENTATION; JAMES HARDIE ARTISAN BOARD; 6-INCH HEIGHTS; SMOOTH TEXTURE; SW6542 VESPER VIOLET OR SIMILAR
- 04 GYPSUM PLASTER; 16/20 FINISH; COLOR SW7100 ARCADE WHITE OR SIMILAR
- 05 GYPSUM PLASTER; 16/20 FINISH; COLOR SW6072 VERSATILE GREY OR SIMILAR
- 06 GYPSUM PLASTER; 16/20 FINISH; COLOR SW6542 VESPER VIOLET OR SIMILAR
- 07 GYPSUM PLASTER; 16/20 FINISH; COLOR SW7957 TINSMITH OR SIMILAR
- 08 GREY BRICK VENER; RUNNING BOND; 4" x 8" MODULE
- 09 VINYL WINDOWS AND DOORS; FRAME COLOR: WHITE; CLEAR GLAZING
- 10 BALCONY RAILING; VERTICAL PICKETS; COLOR GREY
- 11 BALCONY FASCIA; GYPSUM PLASTER; 16/20 FINISH; COLOR SW7100 ARCADE WHITE OR SIMILAR
- 12 BALCONY FASCIA; GYPSUM PLASTER; 16/20 FINISH; COLOR SW6072 VERSATILE GREY OR SIMILAR
- 13 PARAPET OVERHANG FASCIA; GYPSUM PLASTER; 16/20 FINISH; COLOR SW7100 ARCADE WHITE OR SIMILAR
- 14 WALL CORNICE; PLASTER FINISH; 16/20 FINISH; COLOR SW6542 VESPER VIOLET OR SIMILAR
- 15 STEEL CANOPY; C-CHANNEL FASCIA PROFILE; COLOR GREY
- 16 STOREFRONT SYSTEM AT COMMON RESIDENTIAL USES; FRAME COLOR: ANODIZED ALUMINUM; GLASS COLOR: CLEAR; DOOR FRAME COLOR: ANODIZED ALUMINUM
- 17 TRIM AT TOP BRICK VENER WALL TO BE PAINTED SW6072 VERSATILE GREY OR SIMILAR
- 18 BALCONY FASCIA; GYPSUM PLASTER; 16/20 FINISH; COLOR SW7658 GRAY CLOUDS OR SIMILAR
- 19 BALCONY FASCIA; GYPSUM PLASTER; 16/20 FINISH; COLOR SW7061 NIGHT OWL OR SIMILAR
- 20 BALCONY FASCIA FINISH; GYPSUM PLASTER; 16/20 FINISH; COLOR SW7957 TINSMITH OR SIMILAR

**MATERIAL LEGEND**

	<p>01</p> <p>FIBER CEMENT SIDING MANUFACTURER: JAMES HARDIE ARTISAN SIDING (OR SIMILAR) COLOR: SW7027 HICKORY SMOKE (OR SIMILAR) DIMENSIONS: 6" SIDING PLANKS</p>
	<p>02</p> <p>FIBER CEMENT SIDING MANUFACTURER: JAMES HARDIE ARTISAN SIDING (OR SIMILAR) COLOR: SW6542 VESPER VIOLET (OR SIMILAR) DIMENSIONS: 6" SIDING PLANKS; VERTICAL ORIENTATION</p>
	<p>03</p> <p>FIBER CEMENT SIDING MANUFACTURER: JAMES HARDIE ARTISAN SIDING (OR SIMILAR) COLOR: SW6542 VESPER VIOLET (OR SIMILAR) DIMENSIONS: 6" SIDING PLANKS; HORIZONTAL ORIENTATION</p>
	<p>04 - 07</p> <p>GYPSUM PLASTER FINISH: 16/20 FINISH COLOR: SW6542 VESPER VIOLET / SW7100 ARCADE WHITE / SW6072 VERSATILE GREY / SW7957 TINSMITH / SW7658 GRAY CLOUDS / SW7061 NIGHT OWL</p>
	<p>08</p> <p>GREY BRICK VENER MANUFACTURER: TBD COLOR: GREY DIMENSIONS: 4" x 8" MODULES; RUNNING BOND</p>

**POPPY GROVE I, LP**

URBAN CORE DEVELOPMENT, LLC  
4086 FREDMONT AVENUE, SUITE 345  
OAKLAND, CA 94611

**Poppy Grove Apartments Phase I**

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Date Issued For

**HED**

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Suite 2500  
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90071 USA  
(213) 542-4500  
WWW.HED.DESIGN

**BUILDING ELEVATIONS - BLDG. A**

**A-04.1**





4 BLDG. B - WEST ELEVATION  
1/8" = 1'-0" A-02.5



3 BLDG. B - EAST ELEVATION  
1/8" = 1'-0" A-02.5



2 BLDG. B - NORTH ELEVATION  
1/8" = 1'-0" A-02.5



1 BLDG. B - SOUTH ELEVATION  
1/8" = 1'-0" A-02.5

**MATERIAL KEYNOTES**

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- 06 GYPSUM PLASTER; 16/20 FINISH; COLOR SW6542 VESPER VIOLET OR SIMILAR
- 07 GYPSUM PLASTER; 16/20 FINISH; COLOR SW7957 TINSMITH OR SIMILAR
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- 09 VINYL WINDOWS AND DOORS; FRAME COLOR: WHITE; CLEAR GLAZING
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- 20 BALCONY FASCIA FINISH; GYPSUM PLASTER; 16/20 FINISH; COLOR SW7957 TINSMITH OR SIMILAR

**MATERIAL LEGEND**

- 01**  
FIBER CEMENT SIDING  
MANUFACTURER: JAMES HARDIE ARTISAN SIDING (OR SIMILAR)  
COLOR: SW7027 HICKORY SMOKE (OR SIMILAR)  
DIMENSIONS: 6" SIDING PLANKS
- 02**  
FIBER CEMENT SIDING  
MANUFACTURER: JAMES HARDIE ARTISAN SIDING (OR SIMILAR)  
COLOR: SW6542 VESPER VIOLET (OR SIMILAR)  
DIMENSIONS: 6" SIDING PLANKS, VERTICAL ORIENTATION
- 03**  
FIBER CEMENT SIDING  
MANUFACTURER: JAMES HARDIE ARTISAN SIDING (OR SIMILAR)  
COLOR: SW6542 VESPER VIOLET (OR SIMILAR)  
DIMENSIONS: 6" SIDING PLANKS; HORIZONTAL ORIENTATION
- 04 - 07**  
GYPSUM PLASTER  
FINISH: 16/20 FINISH  
COLOR: SW6542 VESPER VIOLET / SW7100 ARCADE WHITE / SW6072 VERSATILE GREY / SW7957 TINSMITH / SW7658 GRAY CLOUDS / SW7061 NIGHT OWL
- 08**  
GREY BRICK VENEER  
MANUFACTURER: TBD  
COLOR: GREY  
DIMENSIONS: 4" x 8" MODULES; RUNNING BOND

**POPPY GROVE I, LP**

URBAN CORE DEVELOPMENT, LLC  
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OAKLAND, CA 94611

**Poppy Grove Apartments Phase I**

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WWW.HEDDESIGN

2021-CA001-001

**BUILDING ELEVATIONS - BLDGS. B**

**A-04.2**



2/17/2022 8:38:06 AM



**4** BLDG. C - WEST ELEVATION  
1/8" = 1'-0" A-02.7



**3** BLDG. C - EAST ELEVATION  
1/8" = 1'-0" A-02.7



**2** BLDG. C - NORTH ELEVATION  
1/8" = 1'-0" A-02.7



**1** BLDG. C - SOUTH ELEVATION  
1/8" = 1'-0" A-02.7

- MATERIAL KEYNOTES**
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  - 12 BALCONY FASCIA; GYPSUM PLASTER; 16/20 FINISH; COLOR SW6072 VERSATILE GREY OR SIMILAR
  - 13 PARAPET OVERHANG FASCIA; GYPSUM PLASTER; 16/20 FINISH; COLOR SW7100 ARCADE WHITE OR SIMILAR
  - 14 WALL CORNICE; PLASTER FINISH; 16/20 FINISH; COLOR SW6542 VESPER VIOLET OR SIMILAR
  - 15 STEEL CANOPY; C-CHANNEL FASCIA PROFILE; COLOR GREY
  - 16 STOREFRONT SYSTEM AT COMMON RESIDENTIAL USES; FRAME COLOR: ANNOXIDIZED ALUMINUM; GLASS COLOR: CLEAR; DOOR FRAME COLOR: ANNOXIDIZED ALUMINUM
  - 17 TRIM AT OP BRICK VENEER WALL TO BE PAINTED SW6072 VERSATILE GREY OR SIMILAR
  - 18 BALCONY FASCIA; GYPSUM PLASTER; 16/20 FINISH; COLOR SW7658 GRAY CLOUDS OR SIMILAR
  - 19 BALCONY FASCIA; GYPSUM PLASTER; 16/20 FINISH; COLOR SW7061 NIGHT OWL OR SIMILAR
  - 20 BALCONY FASCIA FINISH; GYPSUM PLASTER; 16/20 FINISH; COLOR SW7957 TINSMITH OR SIMILAR

**MATERIAL LEGEND**

<p><b>01</b></p> <p>FIBER CEMENT SIDING MANUFACTURER: JAMES HARDIE ARTISAN SIDING (OR SIMILAR) COLOR: SW7027 HICKORY SMOKE (OR SIMILAR) DIMENSIONS: 6" SIDING PLANKS</p>	<p><b>02</b></p> <p>FIBER CEMENT SIDING MANUFACTURER: JAMES HARDIE ARTISAN SIDING (OR SIMILAR) COLOR: SW6542 VESPER VIOLET (OR SIMILAR) DIMENSIONS: 6" SIDING PLANKS; VERTICAL ORIENTATION</p>	<p><b>03</b></p> <p>FIBER CEMENT SIDING MANUFACTURER: JAMES HARDIE ARTISAN SIDING (OR SIMILAR) COLOR: SW6542 VESPER VIOLET (OR SIMILAR) DIMENSIONS: 6" SIDING PLANKS; HORIZONTAL ORIENTATION</p>
<p><b>08</b></p> <p>GREY BRICK VENEER MANUFACTURER: TBD COLOR: GREY DIMENSIONS: 4" x 8" MODULES; RUNNING BOND</p>		
<p><b>04 - 07</b></p> <p>GYPSUM PLASTER FINISH: 16/20 FINISH COLOR: SW6542 VESPER VIOLET / SW7100 ARCADE WHITE / SW6072 VERSATILE GREY / SW7957 TINSMITH / SW7658 GRAY CLOUDS / SW7061 NIGHT OWL</p>		

**POPPY GROVE I, LP**

URBAN CORE DEVELOPMENT, LLC  
4006 PIEDMONT AVENUE, SUITE 345  
OAKLAND, CA 94611

**Poppy Grove Apartments \ Phase I**

10149 BRUCEVILLE ROAD  
ELK GROVE, CA 95757

Date Issued For



2021-CA001-001

**BUILDING ELEVATIONS - BLDG. C**

**A-04.3**





- MATERIAL KEYNOTES**
- 01 FIBER CEMENT BOARD PLANK SIDING; HORIZONTAL ORIENTATION; JAMES HARDIE ARTISAN BOARD; 6-INCH HEIGHTS; SMOOTH TEXTURE; SW7027 HICKORY SMOKE OR SIMILAR
  - 02 FIBER CEMENT BOARD PLANK SIDING; VERTICAL ORIENTATION; JAMES HARDIE ARTISAN BOARD; 6-INCH HEIGHTS; SMOOTH TEXTURE; SW6542 VESPER VIOLET OR SIMILAR
  - 03 FIBER CEMENT BOARD PLANK SIDING; HORIZONTAL ORIENTATION; JAMES HARDIE ARTISAN BOARD; 6-INCH HEIGHTS; SMOOTH TEXTURE; SW6542 VESPER VIOLET OR SIMILAR
  - 04 GYPSUM PLASTER; 16/20 FINISH; COLOR SW7100 ARCADE WHITE OR SIMILAR
  - 05 GYPSUM PLASTER; 16/20 FINISH; COLOR SW6072 VERSATILE GREY OR SIMILAR
  - 06 GYPSUM PLASTER; 16/20 FINISH; COLOR SW6542 VESPER VIOLET OR SIMILAR
  - 07 GYPSUM PLASTER; 16/20 FINISH; COLOR SW7957 TINSMITH OR SIMILAR
  - 08 GREY BRICK VENEER; RUNNING BOND; 4" x 8" MODULE
  - 09 VINYL WINDOWS AND DOORS; FRAME COLOR: WHITE; CLEAR GLAZING
  - 10 BALCONY RAILING; VERTICAL PICKETS; COLOR GREY
  - 11 BALCONY FASCIA; GYPSUM PLASTER; 16/20 FINISH; COLOR SW7100 ARCADE WHITE OR SIMILAR
  - 12 BALCONY FASCIA; GYPSUM PLASTER; 16/20 FINISH; COLOR SW6072 VERSATILE GREY OR SIMILAR
  - 13 PARAPET OVERHANG FASCIA; GYPSUM PLASTER; 16/20 FINISH; COLOR SW7100 ARCADE WHITE OR SIMILAR
  - 14 WALL CORNICE; PLASTER FINISH; 16/20 FINISH; COLOR SW6542 VESPER VIOLET OR SIMILAR
  - 15 STEEL CANOPY; C-CHANNEL FASCIA PROFILE; COLOR GREY
  - 16 STOREFRONT SYSTEM AT COMMON RESIDENTIAL USES; FRAME COLOR: ANNOZIDED ALUMINUM; GLASS COLOR: CLEAR; DOOR FRAME COLOR: ANNOZIDED ALUMINUM
  - 17 TRIM AT TOP BRICK VENEER WALL TO BE PAINTED SW6072 VERSATILE GREY OR SIMILAR
  - 18 BALCONY FASCIA; GYPSUM PLASTER; 16/20 FINISH; COLOR SW7658 GRAY CLOUDS OR SIMILAR
  - 19 BALCONY FASCIA; GYPSUM PLASTER; 16/20 FINISH; COLOR SW7061 NIGHT OWL OR SIMILAR
  - 20 BALCONY FASCIA FINISH; GYPSUM PLASTER; 16/20 FINISH; COLOR SW7957 TINSMITH OR SIMILAR

- MATERIAL LEGEND**
- 01 FIBER CEMENT SIDING  
MANUFACTURER: JAMES HARDIE ARTISAN SIDING (OR SIMILAR)  
COLOR: SW7027 HICKORY SMOKE (OR SIMILAR)  
DIMENSIONS: 6" SIDING PLANKS
  - 02 FIBER CEMENT SIDING  
MANUFACTURER: JAMES HARDIE ARTISAN SIDING (OR SIMILAR)  
COLOR: SW6542 VESPER VIOLET (OR SIMILAR)  
DIMENSIONS: 6" SIDING PLANKS; VERTICAL ORIENTATION
  - 03 FIBER CEMENT SIDING  
MANUFACTURER: JAMES HARDIE ARTISAN SIDING (OR SIMILAR)  
COLOR: SW6542 VESPER VIOLET (OR SIMILAR)  
DIMENSIONS: 6" SIDING PLANKS; HORIZONTAL ORIENTATION
  - 04-07 GYPSUM PLASTER  
FINISH: 16/20 FINISH  
COLOR: SW6542 VESPER VIOLET / SW7100 ARCADE WHITE / SW6072 VERSATILE GREY / SW7957 TINSMITH / SW7658 GRAY CLOUDS / SW7061 NIGHT OWL
  - 08 GREY BRICK VENEER  
MANUFACTURER: TPO  
COLOR: GREY  
DIMENSIONS: 4" x 8" MODULES; RUNNING BOND

POPPY GROVE I, LP

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Poppy Grove Apartments \ Phase I

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ELK GROVE, CA 95757

Date Issued For



550 South Hope Street  
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90071 USA  
(213) 542-4500  
WWW.HED.DESIGN

2021-CA001-001

BUILDING ELEVATIONS - BLDG. D

A-04.4





**4** BLDG. D (EAST/WEST) - WEST ELEVATION  
1/8" = 1'-0"



**3** BLDG. D (EAST/WEST) - EAST ELEVATION  
1/8" = 1'-0" A-02.9



**2** BLDG. D (EAST/WEST) - NORTH ELEVATION  
1/8" = 1'-0" A-02.9



**1** BLDG. D (EAST/WEST) - SOUTH ELEVATION  
1/8" = 1'-0" A-02.9

**MATERIAL KEYNOTES**

- 01 FIBER CEMENT BOARD PLANK SIDING: HORIZONTAL ORIENTATION; JAMES HARDIE ARTISAN BOARD; 6-INCH HEIGHTS; SMOOTH TEXTURE; SW7027 HICKORY SMOKE OR SIMILAR
- 02 FIBER CEMENT BOARD PLANK SIDING: VERTICAL ORIENTATION; JAMES HARDIE ARTISAN BOARD; 6-INCH HEIGHTS; SMOOTH TEXTURE; SW6542 VESPER VIOLET OR SIMILAR
- 03 FIBER CEMENT BOARD PLANK SIDING: HORIZONTAL ORIENTATION; JAMES HARDIE ARTISAN BOARD; 6-INCH HEIGHTS; SMOOTH TEXTURE; SW6542 VESPER VIOLET OR SIMILAR
- 04 GYPSUM PLASTER; 16/20 FINISH; COLOR SW7100 ARCADE WHITE OR SIMILAR
- 05 GYPSUM PLASTER; 16/20 FINISH; COLOR SW6072 VERSATILE GREY OR SIMILAR
- 06 GYPSUM PLASTER; 16/20 FINISH; COLOR SW6542 VESPER VIOLET OR SIMILAR
- 07 GYPSUM PLASTER; 16/20 FINISH; COLOR SW7957 TINSMITH OR SIMILAR
- 08 GREY BRICK VENEER; RUNNING BOND; 4" x 8" MODULE
- 09 VINYL WINDOWS AND DOORS; FRAME COLOR: WHITE; CLEAR GLAZING
- 10 BALCONY RAILING; VERTICAL PICKETS; COLOR GREY
- 11 BALCONY FASCIA; GYPSUM PLASTER; 16/20 FINISH; COLOR SW7100 ARCADE WHITE OR SIMILAR
- 12 BALCONY FASCIA; GYPSUM PLASTER; 16/20 FINISH; COLOR SW6072 VERSATILE GREY OR SIMILAR
- 13 PARAPET OVERHANG FASCIA; GYPSUM PLASTER; 16/20 FINISH; COLOR SW7100 ARCADE WHITE OR SIMILAR
- 14 WALL CORNICE; PLASTER FINISH; 16/20 FINISH; COLOR SW6542 VESPER VIOLET OR SIMILAR
- 15 STEEL CANOPY; C-CHANNEL FASCIA PROFILE; COLOR GREY
- 16 STOREFRONT SYSTEM AT COMMON RESIDENTIAL USES; FRAME COLOR: ANNOZIDED ALUMINUM; GLASS COLOR: CLEAR; DOOR FRAME COLOR: ANNOZIDED ALUMINUM
- 17 TRIM AT TOP BRICK VENEER WALL TO BE PAINTED SW6072 VERSATILE GREY OR SIMILAR
- 18 BALCONY FASCIA; GYPSUM PLASTER; 16/20 FINISH; COLOR SW7658 GRAY CLOUDS OR SIMILAR
- 19 BALCONY FASCIA; GYPSUM PLASTER; 16/20 FINISH; COLOR SW7061 NIGHT OWL OR SIMILAR
- 20 BALCONY FASCIA FINISH; GYPSUM PLASTER; 16/20 FINISH; COLOR SW7957 TINSMITH OR SIMILAR

**MATERIAL LEGEND**

<p><b>01</b></p> <p>FIBER CEMENT SIDING MANUFACTURER: JAMES HARDIE ARTISAN SIDING (OR SIMILAR) COLOR: SW7027 HICKORY SMOKE (OR SIMILAR) DIMENSIONS: 6" SIDING PLANKS</p>	<p><b>02</b></p> <p>FIBER CEMENT SIDING MANUFACTURER: JAMES HARDIE ARTISAN SIDING (OR SIMILAR) COLOR: SW6542 VESPER VIOLET (OR SIMILAR) DIMENSIONS: 6" SIDING PLANKS; VERTICAL ORIENTATION</p>	<p><b>03</b></p> <p>FIBER CEMENT SIDING MANUFACTURER: JAMES HARDIE ARTISAN SIDING (OR SIMILAR) COLOR: SW6542 VESPER VIOLET (OR SIMILAR) DIMENSIONS: 6" SIDING PLANKS; HORIZONTAL ORIENTATION</p>	<p><b>04 - 07</b></p> <p>GYPSUM PLASTER FINISH: 16/20 FINISH COLOR: SW6542 VESPER VIOLET / SW7100 ARCADE WHITE / SW6072 VERSATILE GREY / SW7957 TINSMITH / SW7658 GRAY CLOUDS / SW7061 NIGHT OWL</p>
<p><b>08</b></p> <p>GREY BRICK VENEER MANUFACTURER: TBD COLOR: GREY DIMENSIONS: 4" x 8" MODULES; RUNNING BOND</p>			

**POPPY GROVE I, LP**

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WWW.HED.DESIGN

2021-CA001-001

**BUILDING ELEVATIONS - BLDG. D (EAST/WEST) A-04.5**





4 BLDG. F - W ELEVATION  
1/8" = 1'-0"



3 BLDG. F - E ELEVATION  
1/8" = 1'-0"



2 BLDG. F - N ELEVATION  
1/8" = 1'-0"



1 BLDG. F - S ELEVATION  
1/8" = 1'-0"

**MATERIAL KEYNOTES**

- 01 FIBER CEMENT BOARD PLANK SIDING: HORIZONTAL ORIENTATION; JAMES HARDIE ARTISAN BOARD, 6-INCH HEIGHTS; SMOOTH TEXTURE; SW7027 HICKORY SMOKE OR SIMILAR
- 02 FIBER CEMENT BOARD PLANK SIDING: VERTICAL ORIENTATION; JAMES HARDIE ARTISAN BOARD, 6-INCH HEIGHTS; SMOOTH TEXTURE; SW6542 VESPER VIOLET OR SIMILAR
- 03 FIBER CEMENT BOARD PLANK SIDING: HORIZONTAL ORIENTATION; JAMES HARDIE ARTISAN BOARD, 6-INCH HEIGHTS; SMOOTH TEXTURE; SW6542 VESPER VIOLET OR SIMILAR
- 04 GYPSUM PLASTER; 16/20 FINISH; COLOR SW7100 ARCADE WHITE OR SIMILAR
- 05 GYPSUM PLASTER; 16/20 FINISH; COLOR SW6702 VERSATILE GREY OR SIMILAR
- 06 GYPSUM PLASTER; 16/20 FINISH; COLOR SW6542 VESPER VIOLET OR SIMILAR
- 07 GYPSUM PLASTER; 16/20 FINISH; COLOR SW7957 TINSMITH OR SIMILAR
- 08 GREY BRICK VENEER; RUNNING BOND; 4" x 8" MODULE
- 09 VINYL WINDOWS AND DOORS; FRAME COLOR: WHITE; CLEAR GLAZING
- 10 BALCONY RAILING; VERTICAL PICKETS; COLOR GREY
- 11 BALCONY FASCIA; GYPSUM PLASTER; 16/20 FINISH; COLOR SW7100 ARCADE WHITE OR SIMILAR
- 12 BALCONY FASCIA; GYPSUM PLASTER; 16/20 FINISH; COLOR SW6702 VERSATILE GREY OR SIMILAR
- 13 PARAPET OVERHANG FASCIA; GYPSUM PLASTER; 16/20 FINISH; COLOR SW7100 ARCADE WHITE OR SIMILAR
- 14 WALL CORNICHE; PLASTER FINISH; 16/20 FINISH; COLOR SW6542 VESPER VIOLET OR SIMILAR
- 15 STEEL CANOPY; C-CHANNEL FASCIA PROFILE; COLOR GREY
- 16 STOREFRONT SYSTEM AT COMMON RESIDENTIAL USES; FRAME COLOR: ANNOXIDIZED ALUMINUM; GLASS COLOR: CLEAR; DOOR FRAME COLOR ANNOXIDIZED ALUMINUM
- 17 TRIM AT TOP BRICK VENEER WALL TO BE PAINTED SW6702 VERSATILE GREY OR SIMILAR
- 18 BALCONY FASCIA; GYPSUM PLASTER; 16/20 FINISH; COLOR SW7658 GRAY CLOUDS OR SIMILAR
- 19 BALCONY FASCIA; GYPSUM PLASTER; 16/20 FINISH; COLOR SW7061 NIGHT OWL OR SIMILAR
- 20 BALCONY FASCIA FINISH; GYPSUM PLASTER; 16/20 FINISH; COLOR SW7957 TINSMITH OR SIMILAR

**MATERIAL LEGEND**

<p><b>01</b></p> <p>FIBER CEMENT SIDING MANUFACTURER: JAMES HARDIE ARTISAN SIDING (OR SIMILAR) COLOR: SW7027 HICKORY SMOKE (OR SIMILAR) DIMENSIONS: 6" SIDING PLANKS</p>	<p><b>02</b></p> <p>FIBER CEMENT SIDING MANUFACTURER: JAMES HARDIE ARTISAN SIDING (OR SIMILAR) COLOR: SW6542 VESPER VIOLET (OR SIMILAR) DIMENSIONS: 6" SIDING PLANKS; VERTICAL ORIENTATION</p>	<p><b>03</b></p> <p>FIBER CEMENT SIDING MANUFACTURER: JAMES HARDIE ARTISAN SIDING (OR SIMILAR) COLOR: SW6542 VESPER VIOLET (OR SIMILAR) DIMENSIONS: 6" SIDING PLANKS; HORIZONTAL ORIENTATION</p>	<p><b>04 - 07</b></p> <p>GYPSUM PLASTER FINISH: 16/20 FINISH COLOR: SW6542 VESPER VIOLET / SW7100 ARCADE WHITE / SW6702 VERSATILE GREY / SW7957 TINSMITH / SW7658 GRAY CLOUDS / SW7061 NIGHT OWL</p>
<p><b>08</b></p> <p>GREY BRICK VENEER MANUFACTURER: TBD COLOR: GREY DIMENSIONS: 4" x 8" MODULES; RUNNING BOND</p>			

**POPPY GROVE I, LP**

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**Poppy Grove Apartments \ Phase I**

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2021-CA001-001

**BUILDING ELEVATIONS - BLDG. F**

**A-04.6**





**4** BLDG. G - W ELEVATION  
1/8" = 1'-0" A-02.15



**3** BLDG. G - EAST ELEVATION  
1/8" = 1'-0" A-02.15



**2** BLDG. G - NORTH ELEVATION  
1/8" = 1'-0" A-02.15



**1** BLDG. G - SOUTH ELEVATION  
1/8" = 1'-0" A-02.15

**MATERIAL KEYNOTES**

- 01 FIBER CEMENT BOARD PLANK SIDING: HORIZONTAL ORIENTATION; JAMES HARDIE ARTISAN BOARD; 6-INCH HEIGHTS; SMOOTH TEXTURE; SW7027 HICKORY SMOKE OR SIMILAR
- 02 FIBER CEMENT BOARD PLANK SIDING: VERTICAL ORIENTATION; JAMES HARDIE ARTISAN BOARD; 6-INCH HEIGHTS; SMOOTH TEXTURE; SW6542 VESPER VIOLET OR SIMILAR
- 03 FIBER CEMENT BOARD PLANK SIDING: HORIZONTAL ORIENTATION; JAMES HARDIE ARTISAN BOARD; 6-INCH HEIGHTS; SMOOTH TEXTURE; SW6542 VESPER VIOLET OR SIMILAR
- 04 GYPSUM PLASTER; 16/20 FINISH; COLOR SW7100 ARCADE WHITE OR SIMILAR
- 05 GYPSUM PLASTER; 16/20 FINISH; COLOR SW6072 VERSATILE GREY OR SIMILAR
- 06 GYPSUM PLASTER; 16/20 FINISH; COLOR SW6542 VESPER VIOLET OR SIMILAR
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- 08 GREY BRICK VENEER; RUNNING BOND; 4" x 8" MODULE
- 09 VINYL WINDOWS AND DOORS; FRAME COLOR: WHITE; CLEAR GLAZING
- 10 BALCONY RAILING; VERTICAL PICKETS; COLOR GREY
- 11 BALCONY FASCIA; GYPSUM PLASTER; 16/20 FINISH; COLOR SW7100 ARCADE WHITE OR SIMILAR
- 12 BALCONY FASCIA; GYPSUM PLASTER; 16/20 FINISH; COLOR SW6072 VERSATILE GREY OR SIMILAR
- 13 PARAPET OVERHANG FASCIA; GYPSUM PLASTER; 16/20 FINISH; COLOR SW7100 ARCADE WHITE OR SIMILAR
- 14 WALL CORNICE; PLASTER FINISH; 16/20 FINISH; COLOR SW6542 VESPER VIOLET OR SIMILAR
- 15 STEEL CANOPY; C-CHANNEL FASCIA PROFILE; COLOR GREY
- 16 STOREFRONT SYSTEM AT COMMON RESIDENTIAL USES; FRAME COLOR: ANNOZIDED ALUMINUM; GLASS COLOR: CLEAR; DOOR FRAME COLOR ANNOZIDED ALUMINUM
- 17 TRIM AT TOP BRICK VENEER WALL TO BE PAINTED SW6072 VERSATILE GREY OR SIMILAR
- 18 BALCONY FASCIA; GYPSUM PLASTER; 16/20 FINISH; COLOR SW7658 GRAY CLOUDS OR SIMILAR
- 19 BALCONY FASCIA; GYPSUM PLASTER; 16/20 FINISH; COLOR SW7061 NIGHT OWL OR SIMILAR
- 20 BALCONY FASCIA FINISH; GYPSUM PLASTER; 16/20 FINISH; COLOR SW7957 TINSMITH OR SIMILAR

**MATERIAL LEGEND**

<p><b>01</b></p> <p>FIBER CEMENT SIDING MANUFACTURER: JAMES HARDIE ARTISAN SIDING (OR SIMILAR) COLOR: SW7027 HICKORY SMOKE (OR SIMILAR) DIMENSIONS: 6" SIDING PLANKS</p>	<p><b>02</b></p> <p>FIBER CEMENT SIDING MANUFACTURER: JAMES HARDIE ARTISAN SIDING (OR SIMILAR) COLOR: SW6542 VESPER VIOLET (OR SIMILAR) DIMENSIONS: 6" SIDING PLANKS; VERTICAL ORIENTATION</p>	<p><b>03</b></p> <p>FIBER CEMENT SIDING MANUFACTURER: JAMES HARDIE ARTISAN SIDING (OR SIMILAR) COLOR: SW6542 VESPER VIOLET (OR SIMILAR) DIMENSIONS: 6" SIDING PLANKS; HORIZONTAL ORIENTATION</p>	<p><b>04-07</b></p> <p>GYPSUM PLASTER FINISH: 16/20 FINISH COLOR: SW6542 VESPER VIOLET / SW7100 ARCADE WHITE / SW6072 VERSATILE GREY / SW7957 TINSMITH / SW7658 GRAY CLOUDS / SW7061 NIGHT OWL</p>
<p><b>08</b></p> <p>GREY BRICK VENEER MANUFACTURER: TSD COLOR: GREY DIMENSIONS: 4" x 8" MODULES; RUNNING BOND</p>			

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WWW.HEDDESIGN

2021-CA001-001

**BUILDING ELEVATIONS - BLDG. G**

**A-04.7**





4 BLDG. H - W ELEVATION  
1/8" = 1'-0" A-02.16



3 BLDG. H - E ELEVATION  
1/8" = 1'-0" A-02.16



2 BLDG. H - N ELEVATION  
1/8" = 1'-0" A-02.16



1 BLDG. H - S ELEVATION  
1/8" = 1'-0" A-02.16

- MATERIAL KEYNOTES**
- 01 FIBER CEMENT BOARD PLANK SIDING; HORIZONTAL ORIENTATION; JAMES HARDIE ARTISAN BOARD; 6-INCH HEIGHTS; SMOOTH TEXTURE; SW7027 HICKORY SMOKE OR SIMILAR
  - 02 FIBER CEMENT BOARD PLANK SIDING; VERTICAL ORIENTATION; JAMES HARDIE ARTISAN BOARD; 6-INCH HEIGHTS; SMOOTH TEXTURE; SW6542 VESPER VIOLET OR SIMILAR
  - 03 FIBER CEMENT BOARD PLANK SIDING; HORIZONTAL ORIENTATION; JAMES HARDIE ARTISAN BOARD; 6-INCH HEIGHTS; SMOOTH TEXTURE; SW6542 VESPER VIOLET OR SIMILAR
  - 04 GYPSUM PLASTER; 16/20 FINISH; COLOR SW7100 ARCADE WHITE OR SIMILAR
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  - 06 GYPSUM PLASTER; 16/20 FINISH; COLOR SW6542 VESPER VIOLET OR SIMILAR
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  - 15 STEEL CANOPY; C-CHANNEL FASCIA PROFILE; COLOR GREY
  - 16 STOREFRONT SYSTEM AT COMMON RESIDENTIAL USES; FRAME COLOR: ANNOXIDIZED ALUMINUM; GLASS COLOR: CLEAR; DOOR FRAME COLOR: ANNOXIDIZED ALUMINUM
  - 17 TRIM AT TOP BRICK VENEER WALL TO BE PAINTED SW6072 VERSATILE GREY OR SIMILAR
  - 18 BALCONY FASCIA; GYPSUM PLASTER; 16/20 FINISH; COLOR SW7658 GRAY CLOUDS OR SIMILAR
  - 19 BALCONY FASCIA; GYPSUM PLASTER; 16/20 FINISH; COLOR SW7061 NIGHT OWL OR SIMILAR
  - 20 BALCONY FASCIA FINISH; GYPSUM PLASTER; 16/20 FINISH; COLOR SW7957 TINSMITH OR SIMILAR

**MATERIAL LEGEND**

<p><b>01</b></p> <p>FIBER CEMENT SIDING MANUFACTURER: JAMES HARDIE ARTISAN SIDING (OR SIMILAR) COLOR: SW7027 HICKORY SMOKE (OR SIMILAR) DIMENSIONS: 6" SIDING PLANKS</p>	<p><b>02</b></p> <p>FIBER CEMENT SIDING MANUFACTURER: JAMES HARDIE ARTISAN SIDING (OR SIMILAR) COLOR: SW6542 VESPER VIOLET (OR SIMILAR) DIMENSIONS: 6" SIDING PLANKS; VERTICAL ORIENTATION</p>	<p><b>03</b></p> <p>FIBER CEMENT SIDING MANUFACTURER: JAMES HARDIE ARTISAN SIDING (OR SIMILAR) COLOR: SW6542 VESPER VIOLET (OR SIMILAR) DIMENSIONS: 6" SIDING PLANKS; HORIZONTAL ORIENTATION</p>	<p><b>04 - 07</b></p> <p>GYPSUM PLASTER FINISH: 16/20 FINISH COLOR: SW6542 VESPER VIOLET / SW7100 ARCADE WHITE / SW6072 VERSATILE GREY / SW7957 TINSMITH / SW7658 GRAY CLOUDS / SW7061 NIGHT OWL</p>
<p><b>08</b></p> <p>GREY BRICK VENEER MANUFACTURER: TBD COLOR: GREY DIMENSIONS: 4" x 8" MODULES; RUNNING BOND</p>			

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OAKLAND, CA 94611

**Poppy Grove Apartments \ Phase I**

10149 BRUCEVILLE ROAD  
ELK GROVE, CA 95757

Date Issued For



550 South Hope Street  
Suite 2500  
Los Angeles, California  
90071 USA  
(213) 542-4500  
WWW.HED.DESIGN

2021-CA001-001

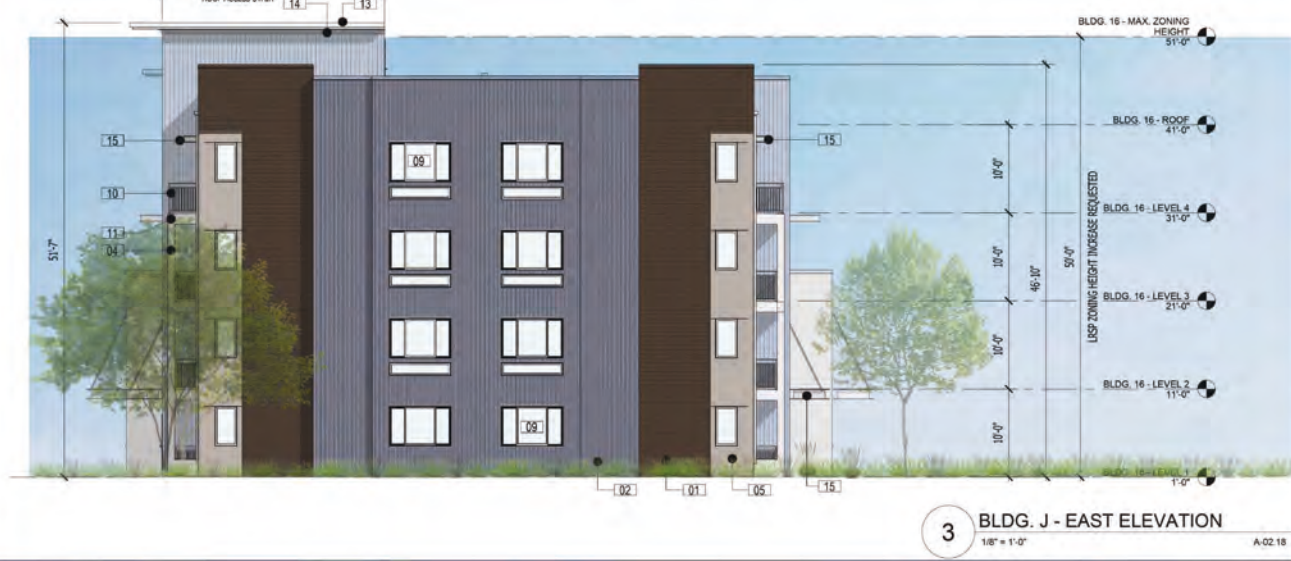
**BUILDING ELEVATIONS - BLDG. H**

**A-04.8**





4 BLDG. J - WEST ELEVATION  
1/8" = 1'-0" A-02.18



3 BLDG. J - EAST ELEVATION  
1/8" = 1'-0" A-02.18



2 BLDG. J - NORTH ELEVATION  
1/8" = 1'-0" A-02.18



1 BLDG. J - SOUTH ELEVATION  
1/8" = 1'-0" A-02.18

**MATERIAL KEYNOTES**

- 01 FIBER CEMENT BOARD PLANK SIDING, HORIZONTAL ORIENTATION, JAMES HARDIE ARTISAN BOARD, 6-INCH HEIGHTS, SMOOTH TEXTURE, SW7027 HICKORY SMOKE OR SIMILAR
- 02 FIBER CEMENT BOARD PLANK SIDING, VERTICAL ORIENTATION, JAMES HARDIE ARTISAN BOARD, 6-INCH HEIGHTS, SMOOTH TEXTURE, SW6542 VESPER VIOLET OR SIMILAR
- 03 FIBER CEMENT BOARD PLANK SIDING, HORIZONTAL ORIENTATION, JAMES HARDIE ARTISAN BOARD, 6-INCH HEIGHTS, SMOOTH TEXTURE, SW6542 VESPER VIOLET OR SIMILAR
- 04 GYPSUM PLASTER, 16/20 FINISH, COLOR SW7100 ARCADE WHITE OR SIMILAR
- 05 GYPSUM PLASTER, 16/20 FINISH, COLOR SW6072 VERSATILE GREY OR SIMILAR
- 06 GYPSUM PLASTER, 16/20 FINISH, COLOR SW6542 VESPER VIOLET OR SIMILAR
- 07 GYPSUM PLASTER, 16/20 FINISH, COLOR SW7957 TINSMITH OR SIMILAR
- 08 GREY BRICK VENEER, RUNNING BOND, 4" x 8" MODULE
- 09 VINYL WINDOWS AND DOORS, FRAME COLOR: WHITE, CLEAR GLAZING
- 10 BALCONY RAILING, VERTICAL PICKETTS, COLOR GREY
- 11 BALCONY FASCIA, GYPSUM PLASTER, 16/20 FINISH, COLOR SW7100 ARCADE WHITE OR SIMILAR
- 12 BALCONY FASCIA, GYPSUM PLASTER, 16/20 FINISH, COLOR SW6072 VERSATILE GREY OR SIMILAR
- 13 PARAPET OVERHANG FASCIA, GYPSUM PLASTER, 16/20 FINISH, COLOR SW7100 ARCADE WHITE OR SIMILAR
- 14 WALL CORNICE, PLASTER FINISH, 16/20 FINISH, COLOR SW6542 VESPER VIOLET OR SIMILAR
- 15 STEEL CANOPY, C-CHANNEL FASCIA PROFILE, COLOR GREY
- 16 STOREFRONT SYSTEM AT COMMON RESIDENTIAL USES, FRAME COLOR: ANODIZED ALUMINUM, GLASS COLOR: CLEAR, DOOR FRAME COLOR: ANODIZED ALUMINUM
- 17 TRIM ATOP BRICK VENEER WALL TO BE PAINTED SW6072 VERSATILE GREY OR SIMILAR
- 18 BALCONY FASCIA, GYPSUM PLASTER, 16/20 FINISH, COLOR SW7658 GRAY CLOUDS OR SIMILAR
- 19 BALCONY FASCIA, GYPSUM PLASTER, 16/20 FINISH, COLOR SW7051 NIGHT OWL OR SIMILAR
- 20 BALCONY FASCIA FINISH, GYPSUM PLASTER, 16/20 FINISH, COLOR SW7957 TINSMITH OR SIMILAR

**MATERIAL LEGEND**

<p><b>01</b></p> <p>FIBER CEMENT SIDING MANUFACTURER: JAMES HARDIE ARTISAN SIDING (OR SIMILAR) COLOR: SW7027 HICKORY SMOKE (OR SIMILAR) DIMENSIONS: 6" SIDING PLANKS</p>	<p><b>02</b></p> <p>FIBER CEMENT SIDING MANUFACTURER: JAMES HARDIE ARTISAN SIDING (OR SIMILAR) COLOR: SW6542 VESPER VIOLET (OR SIMILAR) DIMENSIONS: 6" SIDING PLANKS, VERTICAL ORIENTATION</p>	<p><b>03</b></p> <p>FIBER CEMENT SIDING MANUFACTURER: JAMES HARDIE ARTISAN SIDING (OR SIMILAR) COLOR: SW6542 VESPER VIOLET (OR SIMILAR) DIMENSIONS: 6" SIDING PLANKS, HORIZONTAL ORIENTATION</p>
<p><b>08</b></p> <p>GREY BRICK VENEER MANUFACTURER: TED COLOR: GREY DIMENSIONS: 4" x 8" MODULES, RUNNING BOND</p>		
<p><b>04-07</b></p> <p>GYPSUM PLASTER FINISH: 16/20 FINISH COLOR: SW6542 VESPER VIOLET / SW7100 ARCADE WHITE / SW6072 VERSATILE GREY / SW7957 TINSMITH / SW7658 GRAY CLOUDS / SW7051 NIGHT OWL</p>		

**POPPY GROVE I, LP**

URBAN CORE DEVELOPMENT, LLC  
4096 PIEDMONT AVENUE, SUITE 345  
OAKLAND, CA 94611

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**BUILDING ELEVATIONS - BLDG. J**

**A-04.9**





**GREY BRICK VENEER**  
**MANUFACTURER:** TBD  
**COLOR:** GREY  
**DIMENSIONS:** 4" x 8" MODULES, RUNNING BOND



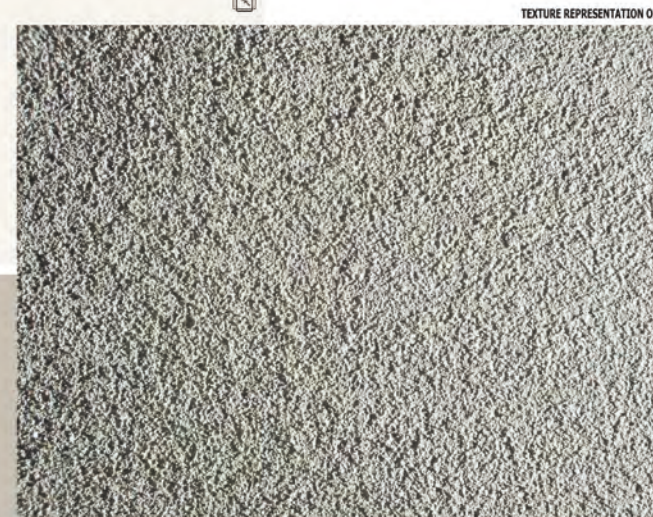
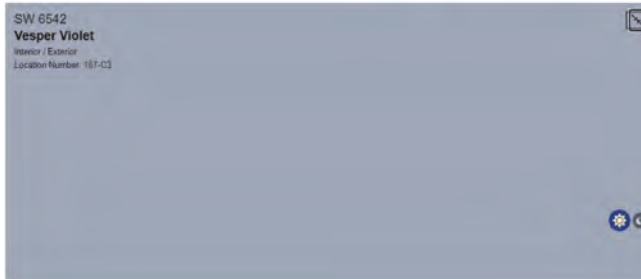
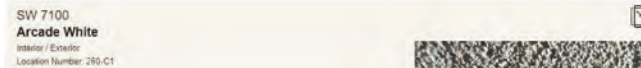
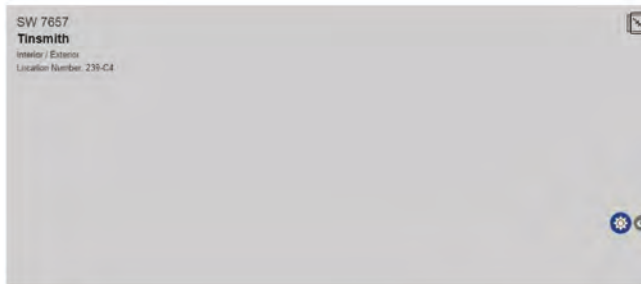
**FIBER CEMENT SIDING**  
**MANUFACTURER:** JAMES HARDIE ARTISAN SIDING (OR SIMILAR)  
**COLOR:** SW7027 HICKORY SMOKE (OR SIMILAR)  
**DIMENSIONS:** 6" SIDING PLANKS



**FIBER CEMENT SIDING**  
**MANUFACTURER:** JAMES HARDIE ARTISAN SIDING (OR SIMILAR)  
**COLOR:** SW6542 VESPER VIOLET (OR SIMILAR)  
**DIMENSIONS:** 6" SIDING PLANKS, VERTICAL & HORIZONTAL ORIENTATION



VINYL WINDOW FRAME EXAMPLES



**EXTERIOR STUCCO/PLASTER**  
**MANUFACTURER:** OMEGA PRODUCTS INT. (OR SIMILAR)  
**COLOR:** SW6542 VESPER VIOLET / SW7100 ARCADE WHITE / SW6072 VERSATILE GRAY / SW7957 TINSMITH / SW7659 GRAY CLOUDS / SW7061 NIGHT OWL  
**FINISH/TEXTURE:** 16/20 FINISH

**POPPY GROVE I, LP**

URBAN CORE DEVELOPMENT, LLC  
 4096 PIEDMONT AVENUE, SUITE 345  
 OAKLAND, CA 94611

**Poppy Grove Apartments \ Phase I**

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**MATERIAL BOARD AND EXAMPLES**

**A-05.2**





POPPY GROVE I, LP

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Poppy Grove Apartments \ Phase I

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ELK GROVE, CA 95757

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BLDG. A - SOUTHWEST

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KEY PLAN



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RENDERED PERSPECTIVES  
BLDG. A

A-06.1





POPPY GROVE I, LP

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Poppy Grove Apartments \ Phase I

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ELK GROVE, CA 95757

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BLDG. B - NORTHEAST

HED

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KEY PLAN



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RENDERED PERSPECTIVES  
BLDG. B

A-06.2





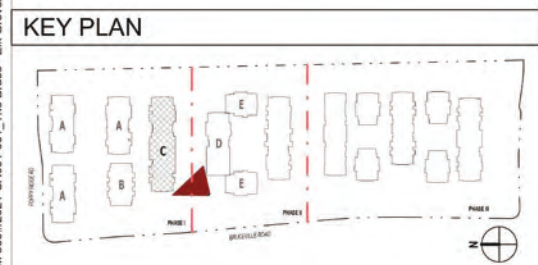
POPPY GROVE I,  
LP

URBAN CORE DEVELOPMENT, LLC  
4266 PIEDMONT AVENUE, SUITE 345  
OAKLAND, CA 94611

Poppy Grove  
Apartments \  
Phase I

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RENDERED  
PERSPECTIVES  
BLDG. C

**A-06.3**





POPPY GROVE I, LP

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4086 PIEDMONT AVENUE, SUITE 345  
OAKLAND, CA 94611

Poppy Grove Apartments \ Phase I

10149 BRUCEVILLE ROAD  
ELK GROVE, CA 95757

Date Issued For



ENTRY - PHASE I/II ALT

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KEY PLAN



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RENDERED PERSPECTIVES  
BLDG. D

**A-06.5**





POPPY GROVE I,  
LP

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4586 PIEDMONT AVENUE, SUITE 345  
OAKLAND, CA 94611

Poppy Grove  
Apartments \  
Phase I

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BLDG. J - SOUTHWEST

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KEY PLAN

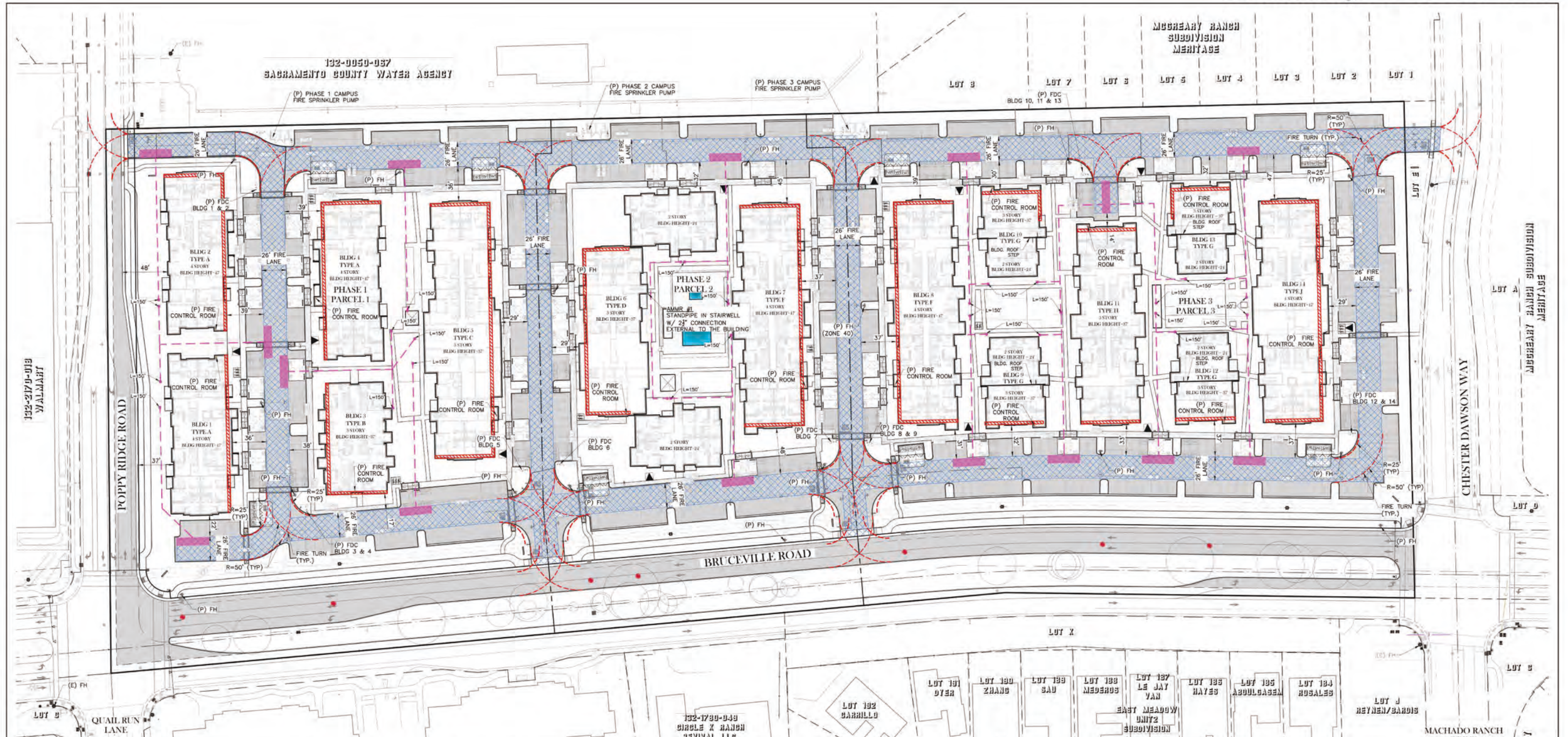


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RENDERED  
PERSPECTIVES  
BLDG. J

A-06.6





**UTILITY LEGEND**

DESCRIPTION	PROPOSED	EXISTING
FIRE LANE		
FIRE TURN RADIUS		
FIRE HYDRANT (PUBLIC ZONE 40)		
DOUBLE CHECK DETECTOR (PUBLIC ZONE 40)		
FIRE TIEPT CONNECTION (PRIVATE) - DRY LINE		
STANDPIPE (AMMR)		
150' FIRE HOSE REACH		
POSSIBLE FIRE ENGINE APPARATUS STAGING AREA		
AERIAL ACCESS SIDE OF BLDG		

**132-1789-047 BARBERS AT QUAIL HARBOR**

**AMMR - CONSUMES FIRE**

BUILDING 6 DOES NOT MEET THE REQUIRED 150-FOOT HOSE REACH FROM AN APPROVED FIRE LANE. THE REAR PORTION OF THE BUILDING EXCEEDS THE 150-FOOT DISTANCE.

AMMR #1 - TO MITIGATE THE 150-FOOT HOSE REACH A STANDPIPE WILL BE PLACED IN BUILDING 6 AS SHOWN. FROM THIS STANDPIPE A 2 1/2" INCH CONNECTION WILL BE EXTENDED THROUGH THE BUILDING EXTERIOR WALL AT THE REAR OF THE BUILDING. THIS CONNECTION WILL ALLOW FOR FIRE PERSONNEL TO UTILIZE THIS CONNECTION TO EXTEND FIRE HOSE PROVIDING THE NECESSARY COVERAGE FOR FIRE PROTECTION.

**FIRE ACCESS LANE NOTES**

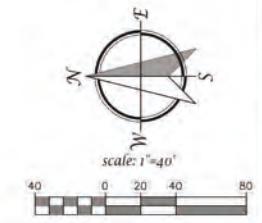
1. FIRE DEPARTMENT ACCESS ROADS BETWEEN 20'-0" TO 26'-0" IN WIDTH SHALL HAVE CURBS MARKED ON BOTH SIDES OF ROAD. CURBS IN FRONT OF FIRE HYDRANTS, FIRE DEPARTMENT CONNECTIONS, POST INDICATOR VALVES, AND OTHER FIRE DEPARTMENT DEVICES SHALL BE MARKED FOR 15'-0" IN BOTH DIRECTIONS.
2. 26' MINIMUM FIRE ACCESS LANE WIDTH ADJACENT TO BUILDINGS EXCEEDING 30'-0" IN ELEVATION.

**WATER SYSTEM FACILITY SCOPE NOTES**

SCWA ZONE 40 WATER MAIN SHALL BE EXTENDED THROUGH THE SITE (AND EACH PHASE/PARCEL) TO PROVIDE WATER SERVICES FOR FIRE HYDRANTS, DOMESTIC PURPOSES, FIRE SERVICE. SCWA ZONE 40 WATER INFRASTRUCTURE SHALL BE PLACED IN AN EASEMENT DEDICATED TO SCWA ZONE 40 FOR MAINTENANCE AND OPERATION.

DOMESTIC WATER SERVICE FOR EACH PHASE/PARCEL OF DEVELOPMENT SHALL BE PROVIDED THROUGH A SINGLE WATER SERVICE, METER, AND BACKFLOW DEVICE. THE DOMESTIC WATER SERVICE SHALL BE PRESSURIZED THROUGH A CAMPUS DOMESTIC PUMP SYSTEM SIZED TO PROVIDE ADEQUATE DOMESTIC PRESSURE FOR EACH PHASE/PARCEL OF DEVELOPMENT. THE DOMESTIC PUMP AND ASSOCIATED MAINS/LATERALS SHALL BE PRIVATE MAINTAINED AND OPERATED BY OWNERSHIP.

FIRE SERVICE (BUILDING FIRE SPRINKLERS) FOR EACH PHASE/PARCEL OF DEVELOPMENT SHALL BE PROVIDED THROUGH A SINGLE WATER SERVICE AND BACKFLOW DEVICE. THE FIRE SERVICE SHALL BE PRESSURIZED THROUGH A CAMPUS FIRE SPRINKLER PUMP SYSTEM SIZED TO PROVIDE ADEQUATE FIRE SPRINKLER PRESSURE FOR EACH PHASE/PARCEL OF DEVELOPMENT. THE FIRE SERVICE PUMP AND ASSOCIATED MAINS/LATERALS SHALL BE PRIVATE MAINTAINED AND OPERATED BY OWNERSHIP.



POPPY GROVE APARTMENTS

C3.1

Elk Grove, CA

Proposed By: Poppy Grove Development Partners, LLC

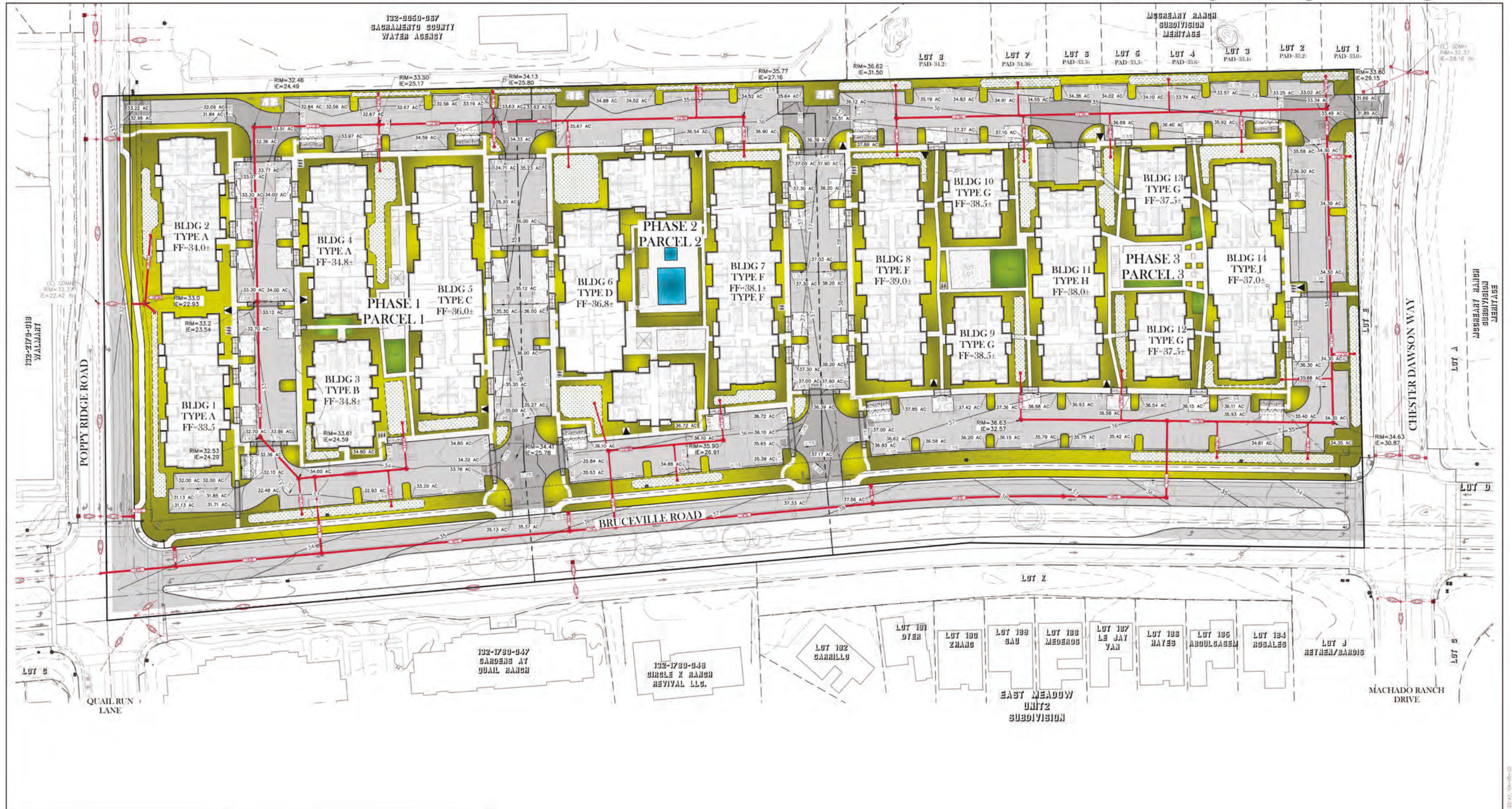
In Association With:  
 HED (Architects), TSD Engineering, Inc. (Civil)  
 & Wilson Design Studio (Landscape Architecture)



APRIL 5, 2022 - FOURTH SUBMITTAL



# Preliminary Grading & Drainage Plan



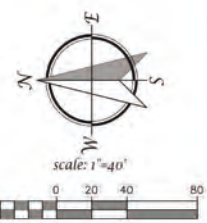
UTILITY LEGEND		
DESCRIPTION	PROPOSED	EXISTING
STORM DRAIN		
STORM DRAIN MANHOLE		
DROP INLET		

SITE LEGEND	
	ASPHALT PAVEMENT
	LANDSCAPE AREA
	BUILDING AREA
	SIDEWALK
	CONCRETE
	DEGRADED PAVEMENT
	PURPOSE PAVED
	VEGETATED SWALE
	OUTDOOR POOL

**BASIS OF BEARING**  
 BASIS OF BEARING: PARCEL MAP NO. 072100 VINEYARD AT MANERA FILED IN BOOK 21 OF PARCEL MAPS, AT PAGE L, SACRAMENTO COUNTY RECORDS, ESTABLISHED FROM THE FOUND MONUMENTS SHOWN HEREON.

**BENCHMARK**  
 DATUM N.A.V.D. 88 BM 'WHITE' ELEV. -30.43

BENCHMARK: 3" BRASS DISK, STAMPED 'WHITE 2008', SET IN CONCRETE SIDEWALK EAST SIDE OF BRIDGE OVER DRAINAGE CANAL NEAR THE INTERSECTION OF WHITELOCK PARKWAY AND BRUCEVILLE ROAD ELEVATION = 30.41 FEET NAVD88 (NGVD 29 CONVERSION: 2.26 FEET)



POPPY GROVE APARTMENTS

C5.0

Elk Grove, CA

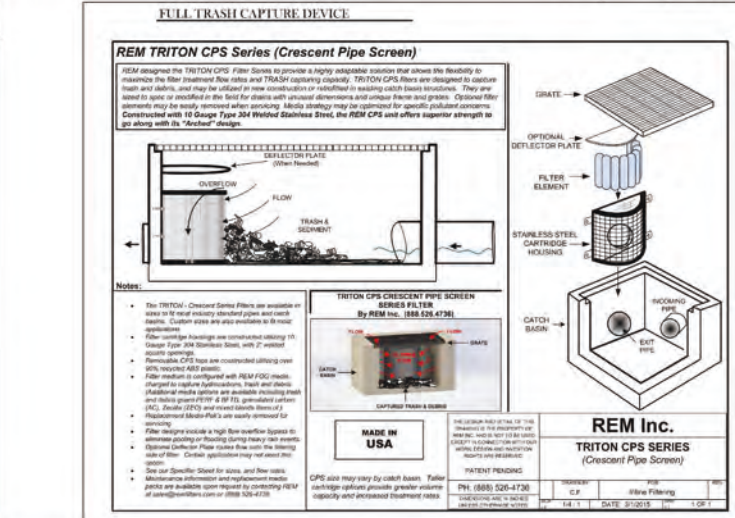
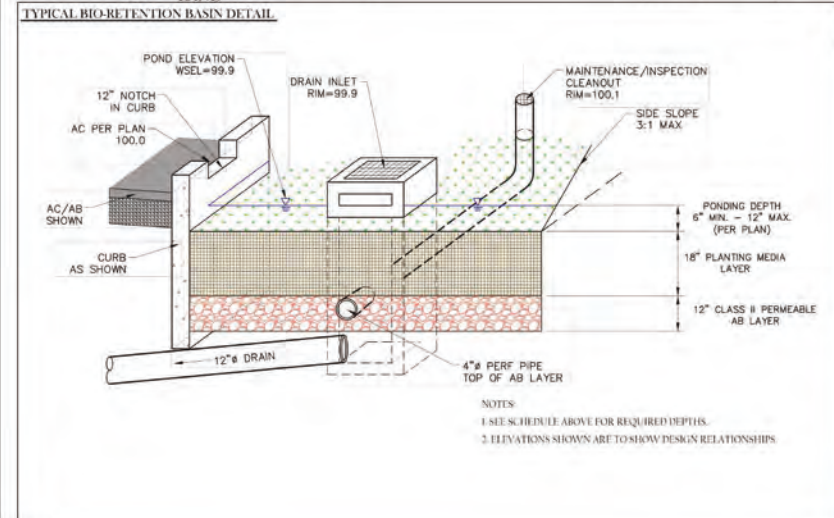
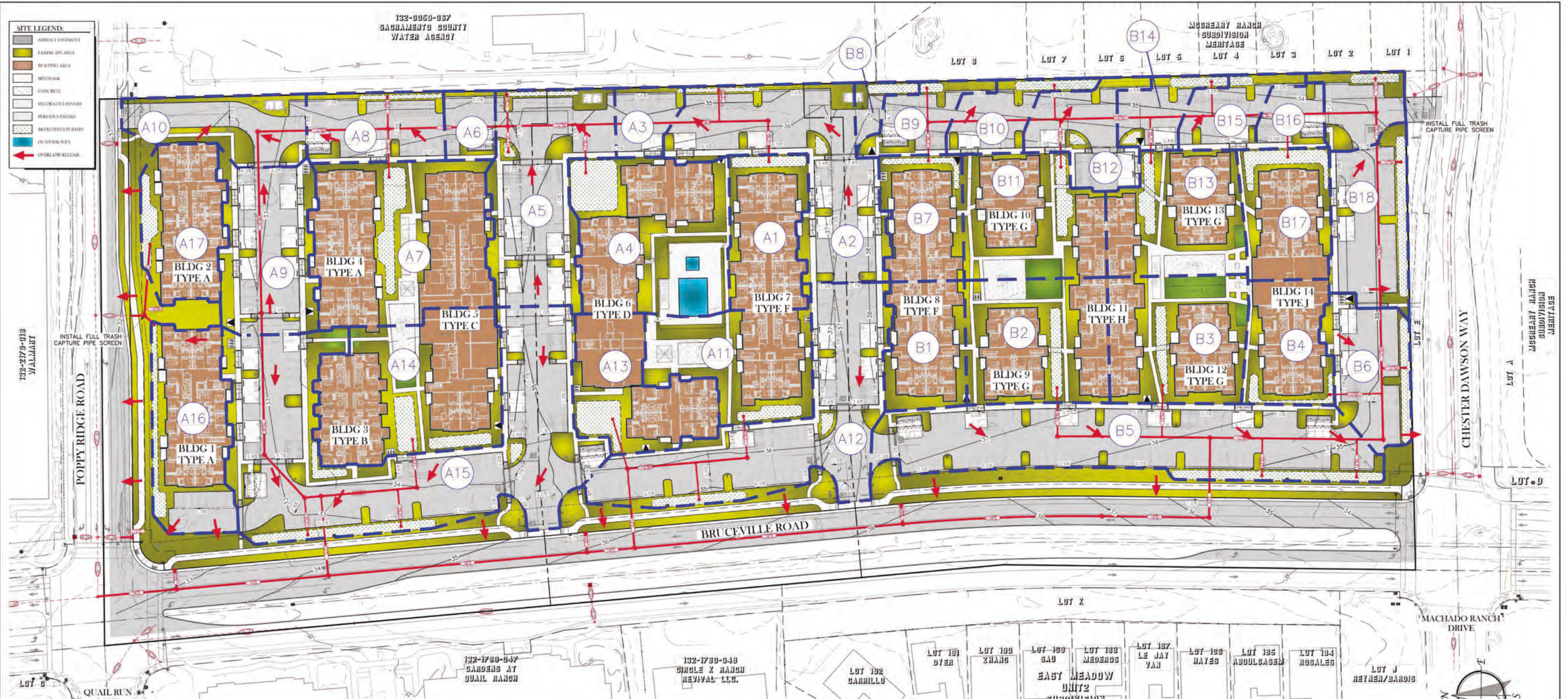
Proposed By: Poppy Grove Development Partners, LLC

In Association With:  
 HED (Architects), TSD Engineering, Inc. (Civil)  
 & Wilson Design Studio (Landscape Architecture)



APRIL 5, 2022 - FOURTH SUBMITTAL





**STORMWATER REQUIREMENTS**

SITE IS LOCATED WITHIN THE CITY OF ELK GROVE 2011 STORM DRAINAGE MASTER PLAN SHEDS B (47.7 ACERS) AND C (45.2 ACRES). STORM DRAIN SYSTEM DESIGN CRITERIA:

- BOTH SHED A AND SHED B DRAIN TO REGIONAL DRAINAGE FACILITIES.
- THE DRAINAGE FACILITIES WERE SIZED ASSUMING DEVELOPED CONDITIONS.
- THE DRAINAGE FACILITIES WERE SIZED TO:
- MITIGATE INCREASED RUNOFF DUE TO DEVELOPMENT TO PRE-DEVELOPED RATES.

**DESIGN CRITERIA:**

- CONVEY RUNOFF GENERATED BY THE NOLTE STORM EVENT (PER VOLUME 2 HYDROLOGY STANDARDS OF THE CITY/COUNTY DRAINAGE MANUAL).
- LOCATED IN AN AREA EXEMPT FROM HYDROMODIFICATION REQUIREMENTS (PER 2018 SACRAMENTO REGION STORMWATER QUALITY DESIGN MANUAL - FIGURE 5-2)
- STORMWATER QUALITY TREATMENT (PER 2018 SACRAMENTO REGION STORMWATER QUALITY DESIGN MANUAL, LD WORKSHEETS)
- BIO-RETENTION BASINS HAVE BEEN SIZED TO RETAIN THE RUNOFF GENERATED BY THE 85TH PERCENTILE STORM EVENT.
- IMPLEMENT LOW IMPACT DEVELOPMENT (PER 2018 SACRAMENTO REGION STORMWATER QUALITY DESIGN MANUAL, LD WORKSHEETS)
- DISCONNECT ROOF DRAINS
- INSTALL INTERCEPTOR TREES
- IMPLEMENT FULL TRASH CAPTURE
- REMOVE PARTICLE LARGER THAN 5 MM PRIOR TO DISCHARGING TO THE CITY STORM DRAIN SYSTEM.
- INSTALL REM TRITON CRESCENT PIPE SCREEN OR APPROVED EQUAL IN LAST MANHOLE PRIOR TO DISCHARGING TO THE CITY STORM DRAIN SYSTEM.



DMA SUMMARY													
DMA	AREA	AREA OF IMPACT	PERCENTAGE	PERCENTAGE	PERCENTAGE	PERCENTAGE	PERCENTAGE	PERCENTAGE	PERCENTAGE	PERCENTAGE	PERCENTAGE	PERCENTAGE	PERCENTAGE
41	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
42	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
43	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
44	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
45	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
46	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
47	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
48	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
49	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
50	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
51	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
52	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
53	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
54	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
55	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
56	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
57	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
58	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
59	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
60	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
61	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
62	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
63	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
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66	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
67	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
68	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
69	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
70	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
71	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
72	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
73	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
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81	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
82	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
83	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
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89	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
90	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
91	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
92	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
93	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
94	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
95	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
96	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
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99	12,750	12,750	100	100	100	100	100	100	100	100	100	100	100
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POPPY GROVE APARTMENTS

C5.1

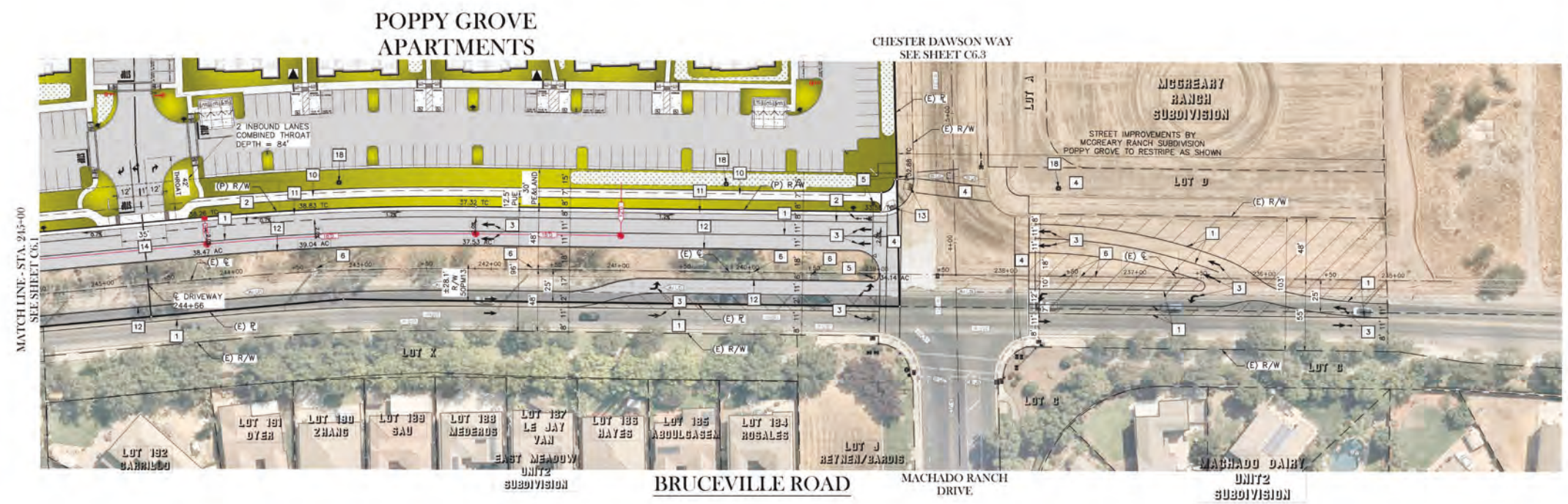
Elk Grove, CA

Proposed By: Poppy Grove Development Partners, LLC

In Association With: HED (Architects), TSD Engineering, Inc. (Civil) & Wilson Design Studio (Landscape Architecture)

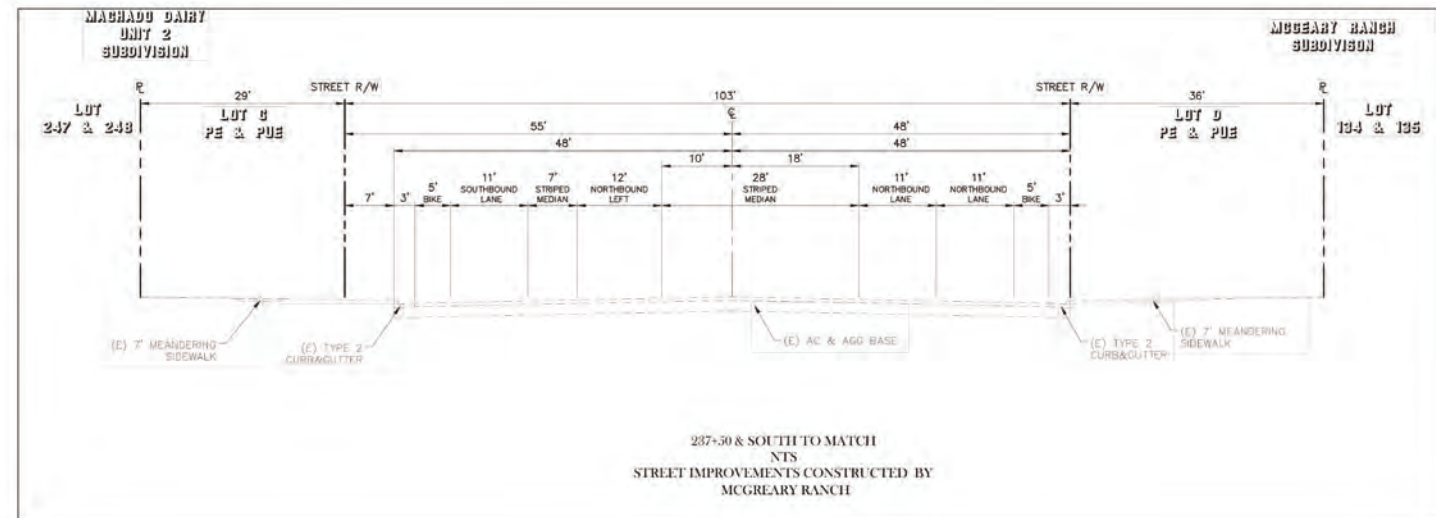
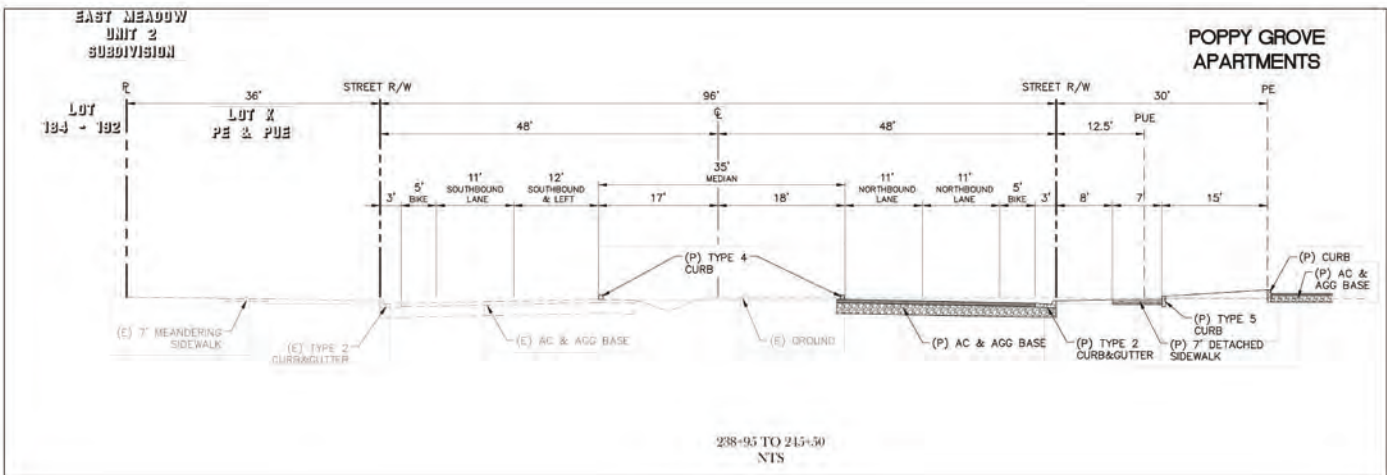
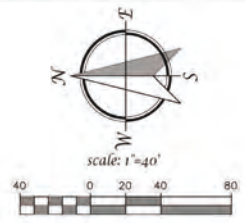
APRIL 5, 2022 - FOURTH SUBMITTAL



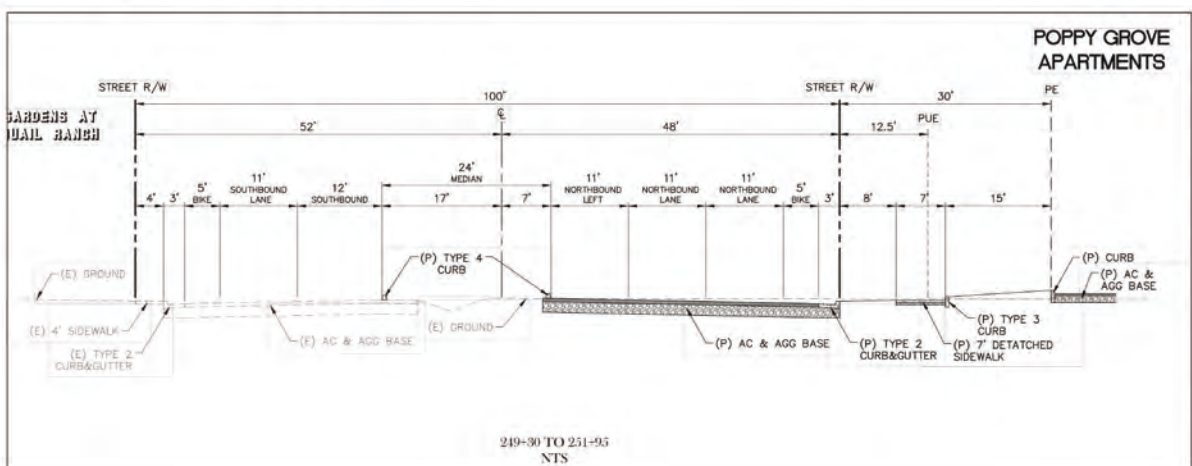
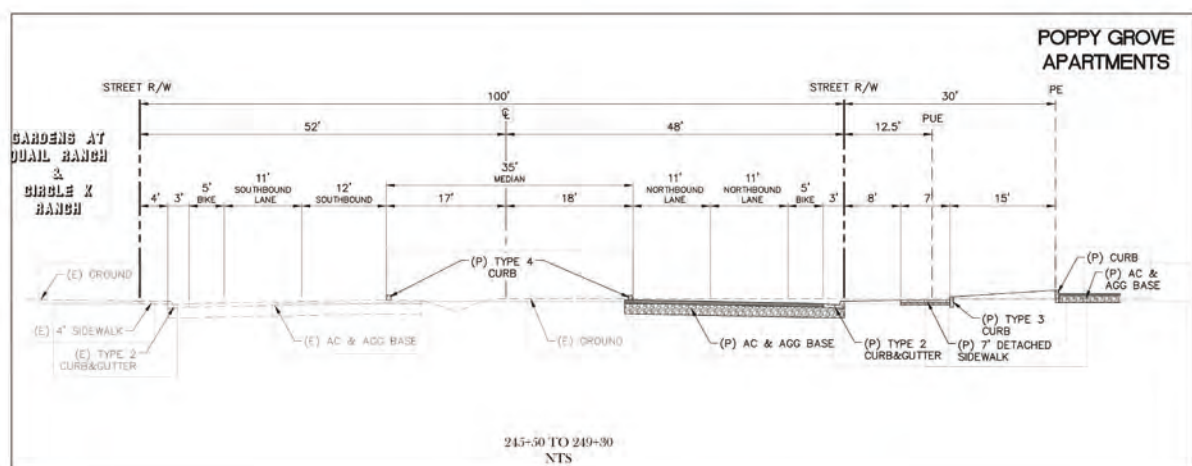
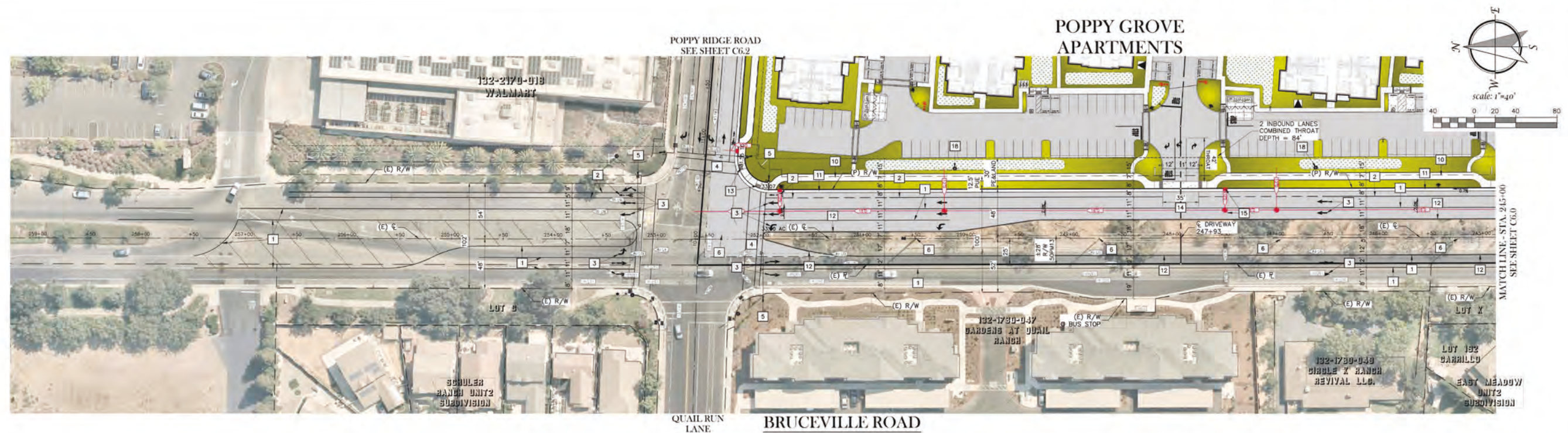


**STREET FRONTAGE CONSTRUCTION NOTES:**

- 1 VEHICLE LANE STRIPING
- 2 BIKE LANE STRIPING
- 3 LEGEND STRIPING
- 4 CROSSWALK
- 5 TRAFFIC SIGNAL POLE AND MAST ARM
- 6 OVERHEAD POLE & WIRE SHALL BE RELOCATED TO STREET FRONTAGE
- 7 OVERHEAD POLE & WIRE SHALL BE RELOCATED UNDERGROUND
- 8 OVERHEAD POLE & WIRE SHALL REMAIN
- 9 OVERHEAD POLE & WIRE SHALL BE RELOCATED UNDERGROUND
- 10 7' SIDEWALK w/TYPE 5 CURB AT BACK OF WALK
- 11 CURB & GUTTER - TYPE 2
- 12 MEDIAN CURB - TYPE 4
- 13 CURB RAMP
- 14 COMMERCIAL DRIVEWAY (TYPE A-6) STD ST-20 RIGHT IN/OUT
- 15 DRAIN INLET AND LATERAL EXTENSION
- 16 7' CONCRETE SIDEWALK
- 17 NA
- 18 SMUD 68KV POLE AND AERIAL - RELOCATION

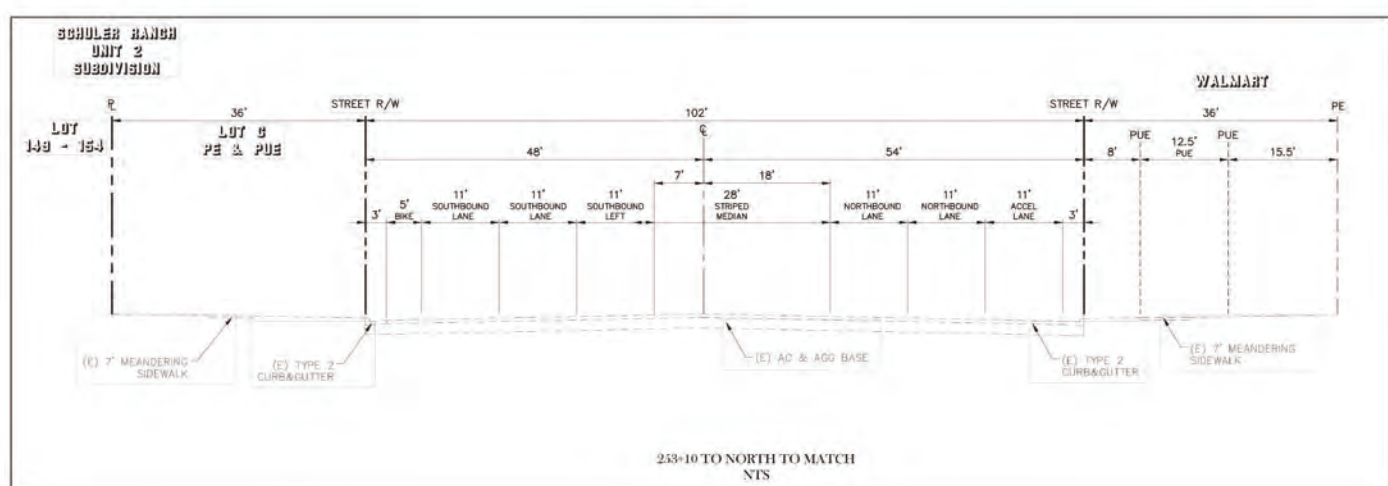






**STREET FRONTAGE CONSTRUCTION NOTES:**

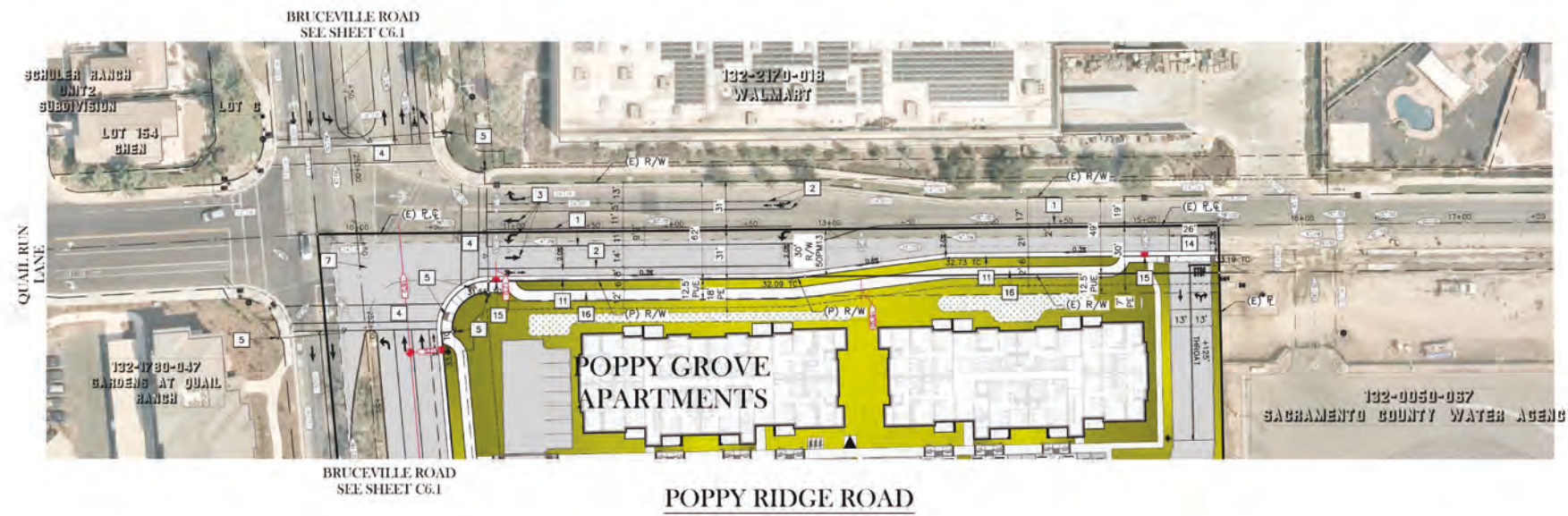
- 1 VEHICLE LANE STRIPING
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- 17 NA
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POPPY GROVE APARTMENTS

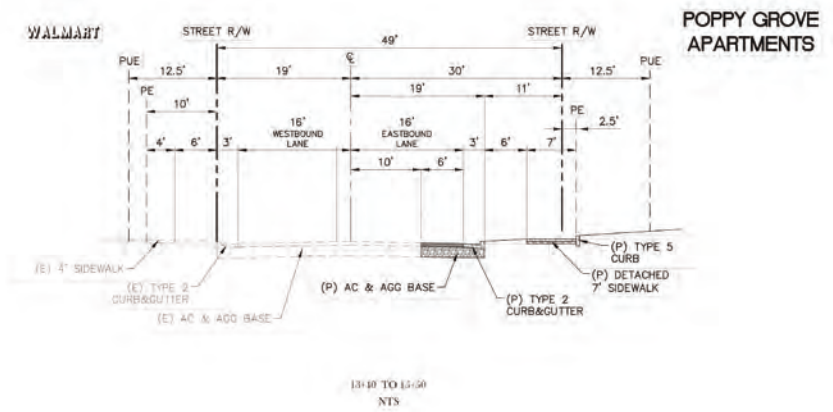
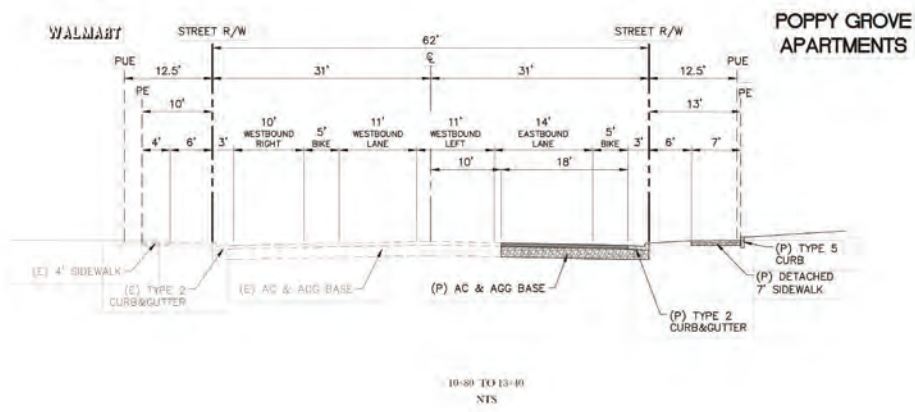
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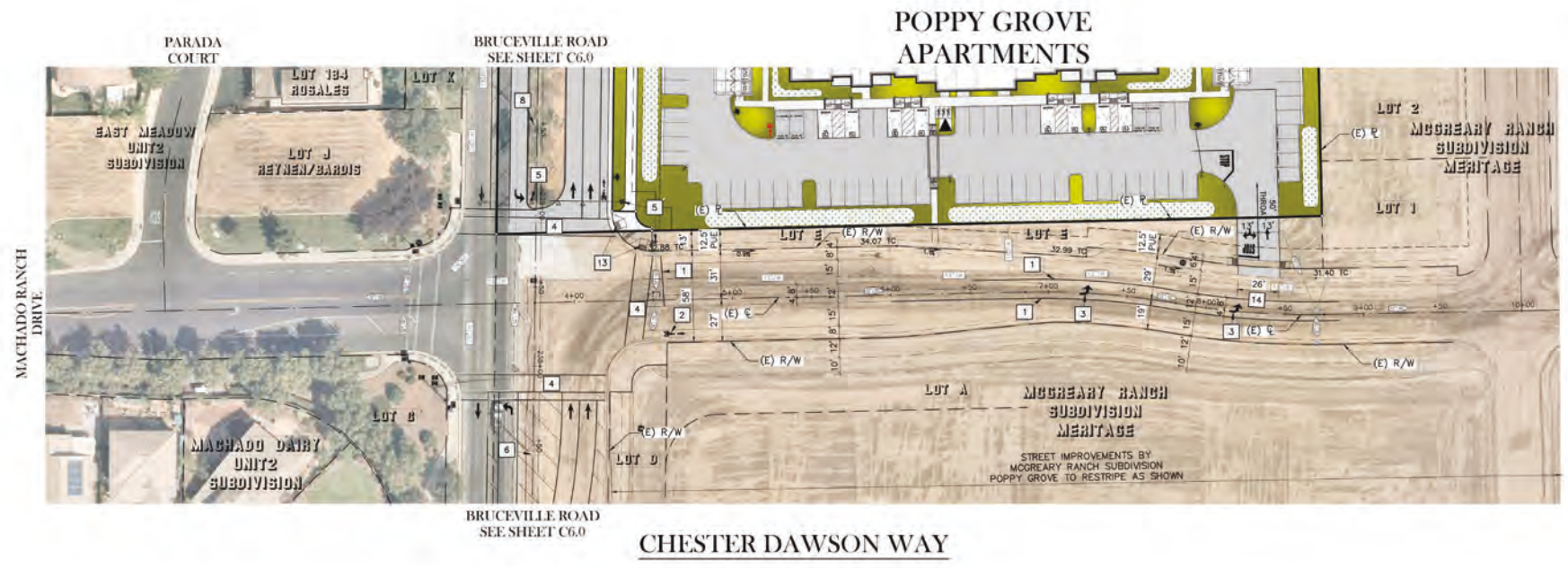


**STREET FRONTAGE CONSTRUCTION NOTES:**

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- 11 CURB & GUTTER - TYPE 2
- 12 MEDIAN CURB - TYPE 4
- 13 CURB RAMP
- 14 COMMERCIAL DRIVEWAY (TYPE A-6) STD ST-20 RIGHT IN/OUT & LEFT IN/OUT
- 15 DRAIN INLET AND LATERAL EXTENSION
- 16 7' CONCRETE SIDEWALK
- 17 NA

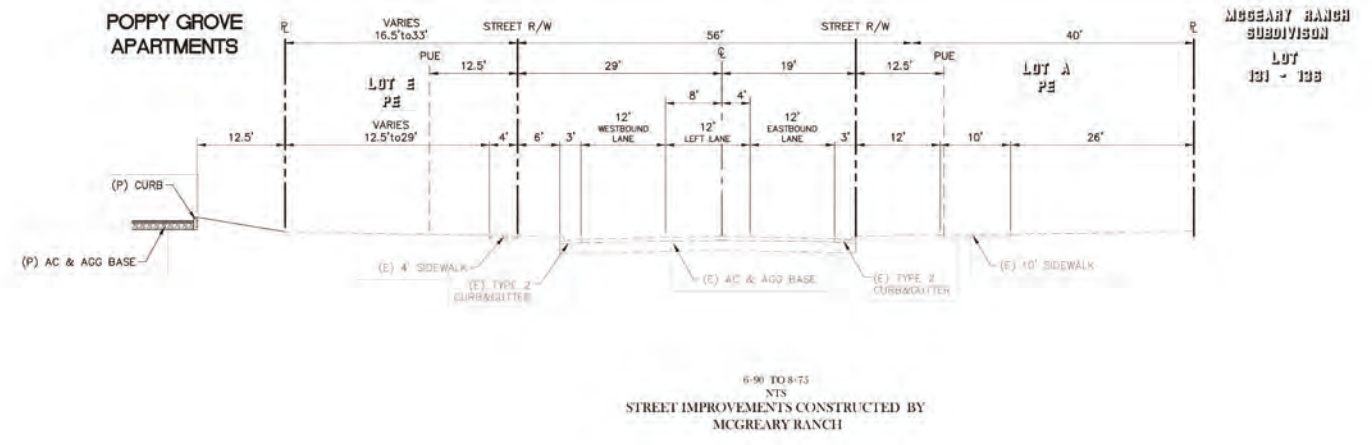
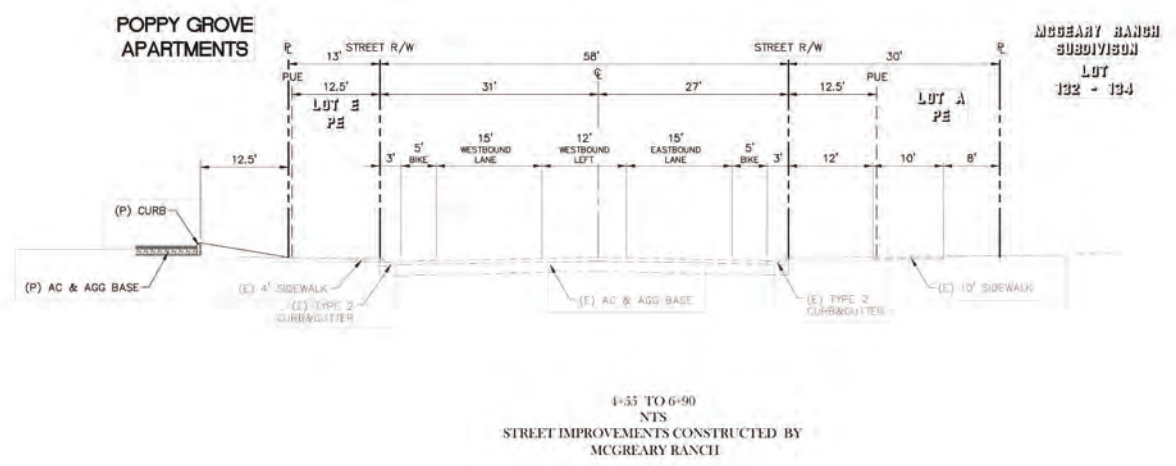
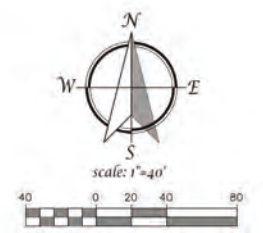






**STREET FRONTAGE CONSTRUCTION NOTES:**

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- 13] CURB RAMP
- 14] COMMERCIAL DRIVEWAY (TYPE A-B) STD ST-20 RIGHT IN/OUT & LEFT IN/OUT
- 15] DRAIN INLET AND LATERAL EXTENSION
- 16] 7" CONCRETE SIDEWALK
- 17] NA





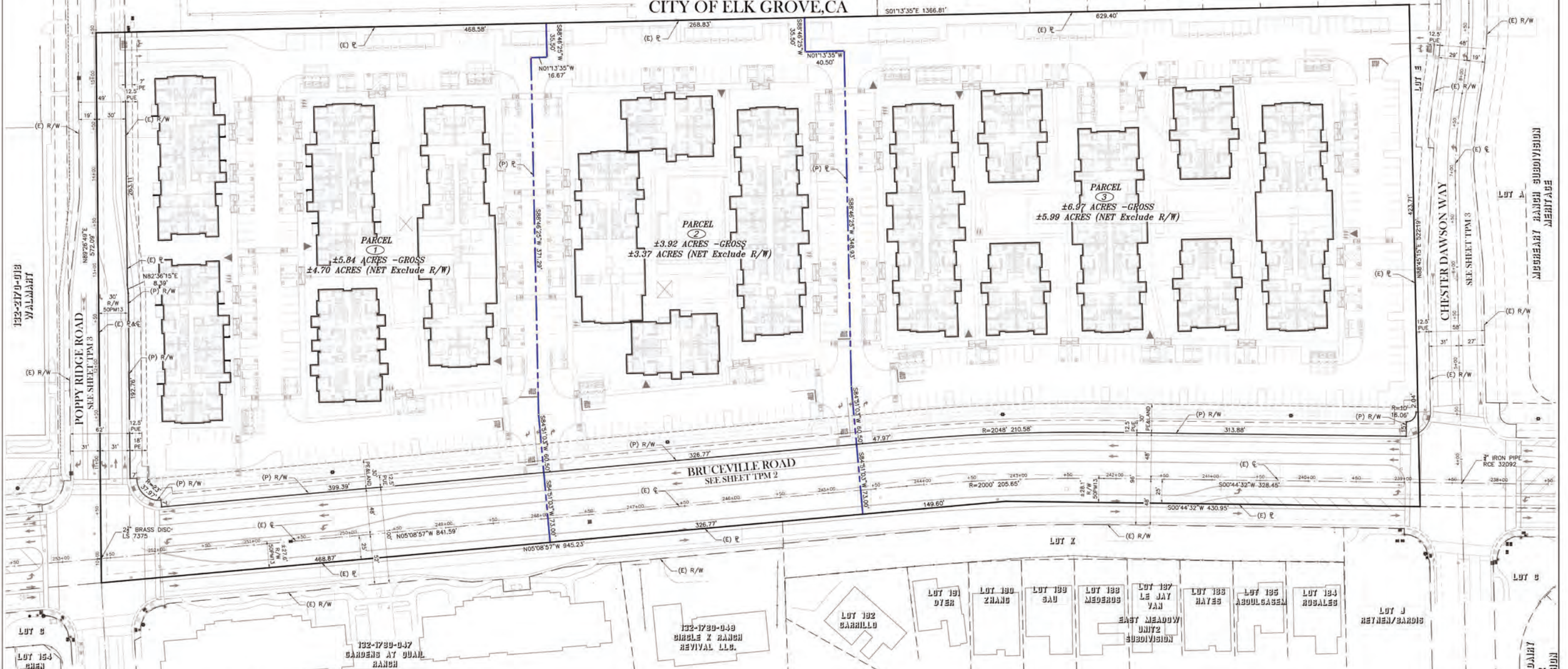
TENTATIVE PARCEL MAP  
POPPY GROVE

PARCEL 1 LOT LINE ADJUSTMENT 18-005  
10149 BRUCEVILLE ROAD  
CITY OF ELK GROVE, CA

132-0050-037  
SACRAMENTO COUNTY WATER AGENCY

MCBREARY RANCH  
SUBDIVISION  
HERITAGE

LOT 8 LOT 7 LOT 6 LOT 5 LOT 4 LOT 3 LOT 2 LOT 1



**LEGAL DESCRIPTION**  
REAL PROPERTY IN THE CITY OF ELK GROVE, COUNTY OF SACRAMENTO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:  
RESUBDIVISION PARCEL 1 AS SHOWN ON EXHIBIT 'C' (LOT LINE ADJUSTMENT) CERTIFICATE OF CALIFORNIA, AS EVIDENCED BY DOCUMENT RECORDED MARCH 26, 2019 AS INSTRUMENT NO. 201901260111 OF OFFICIAL RECORDS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
ALL THAT REAL PROPERTY SITUATED IN THE CITY OF ELK GROVE, COUNTY OF SACRAMENTO, STATE OF CALIFORNIA, AND LOCATED WITHIN SECTION 10, TOWNSHIP 34 NORTH, RANGE 3 EAST, MOUNT Diablo Meridian, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEING ALL OF PARCEL 1 AS SHOWN AND SO DESIGNATED ON THAT CERTAIN PARCEL MAP ENTITLED "ALL OF LOTS 8, 9 AND A PORTION OF LOT 7 OF THE COMPANY'S COLONY NO. 2 AS SHOWN ON BOOK 5 OF MAPS, MAP NO. 17 AND A PORTION OF LOTS 190, 192 AND 193 OF THE COMPANY'S COLONY NO. 2 AS SHOWN ON BOOK 5 OF MAPS, MAP NO. 22 FILED FOR RECORD JULY 1, 1991 IN BOOK 5047 OF PARCEL MAPS, AT PAGE 13, SACRAMENTO COUNTY RECORDS;  
EXCEPTING THEREFROM THE FOLLOWING:  
BEGINNING AT THE SOUTHEAST CORNER OF SAID PARCEL 1 BEING THE POINT OF BEGINNING;  
THENCE ALONG THE SOUTH LINE OF PARCEL 1, SOUTH 88° 36' 55" WEST A DISTANCE OF 535.88 FEET TO THE CENTERLINE OF BRUCEVILLE ROAD AND THE SOUTHWEST CORNER OF SAID PARCEL 1; THENCE ALONG THE WEST LINE OF SAID PARCEL 1 AND THE CENTERLINE OF BRUCEVILLE ROAD, NORTH 04° 42' EAST A DISTANCE OF 578.95 FEET; THENCE LEAVING SAID WEST LINE AND SAID CENTERLINE, NORTH 88° 45' EAST A DISTANCE OF 522.9 FEET TO THE EAST LINE OF PARCEL 1; THENCE ALONG SAID EAST LINE, SOUTH 10° 11' EAST A DISTANCE OF 528.84 FEET TO THE POINT OF BEGINNING.

**FLOOD ZONE**  
FLOOD ZONE: ZONE X UNSHADDED (AREA OF MINIMAL FLOOD HAZARD) PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 06067C0018L EFFECTIVE 8/16/2012.

**BASIS OF BEARING**  
BASIS OF BEARINGS: PARCEL MAP NO. 012100 VINEYARD AT MAPHERIA FILED IN BOOK 2109 OF PARCEL MAPS, AT PAGE 1, SACRAMENTO COUNTY RECORDS, ESTABLISHED FROM THE FOUND MONUMENTS SHOWN HEREON.

**BENCHMARK**  
DATUM N.A.V.D. 88 BM "WHITE 2008"  
ELEV. -30.43  
BENCHMARK: 3" BRASS DISK, STAMPED WHITE 2008, SET IN CONCRETE SIDEWALK EAST SIDE OF BRUCEVILLE DRAINAGE CANAL NEAR THE INTERSECTION OF WHITELOCK PARKWAY AND BRUCEVILLE ROAD. ELEVATION: -30.43 FEET NAVD83 (NGVD 29 CONVERSION: -226 FEET)

**UTILITY PROVIDERS:**

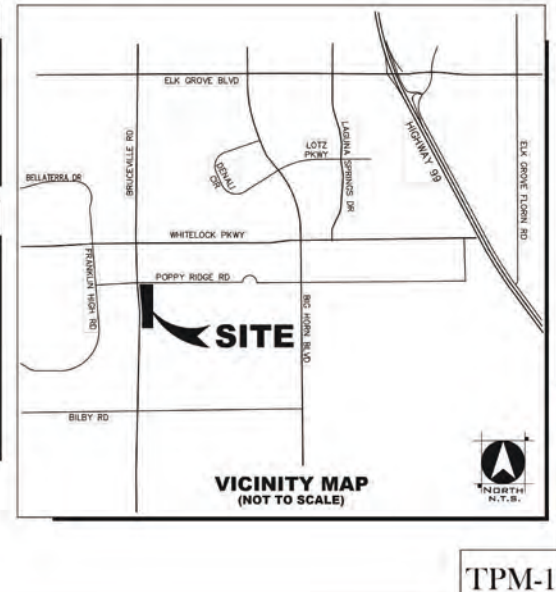
WATER 22ND ST MARIO AMBRIZ	ELECTRIC SMITH CHUCK HAGGER
SANITARY SEWER SAND YAMBA LEWIS	IP GAS PUREL MIKE WILLIAMS
STORM DRAIN CITY OF ELK GROVE PUBLIC WORKS	TELEPHONE FRONTIER COMMUNICATIONS EVA NOREDOCK
FIRE CITY FIRE DEPARTMENT BRYAN CLARK	CABLE AT&T BROADBAND ANDREW KOTZ

**CITY STANDARDS/DEVIATION STATEMENT**  
ALL PROPOSED IMPROVEMENTS ARE IN COMPLIANCE WITH CURRENT CITY OF ELK GROVE STANDARDS AT THE TIME, WITH THE EXCEPTIONS OF THE FOLLOWING DEVIATIONS:  
1. 100 FOOT SETBACK FROM 1 STORY BUILDINGS TO SINGLE FAMILY RESIDENCE. PROJECT PROPOSES AND REQUESTS A 40 FOOT SETBACK.  
2. 30 FOOT SETBACK ON BRUCEVILLE ROAD. PROJECT PROPOSES AND REQUESTS A 10 FOOT SETBACK.  
3. 40 FOOT MAX BUILDING HEIGHT. PROJECT PROPOSES AND REQUESTS A 30 FOOT BUILDING HEIGHT.  
4. 10 FOOT REAR YARD SETBACK ALONG THE SCVA PROPERTY. PROJECT PROPOSES AND REQUESTS A 5 FOOT REAR YARD SETBACK ALONG THE SCVA PROPERTY.  
5. PRIVATE OPEN SPACE TO INCLUDE PATIOS/BALCONIES, INTERIOR COMMON AREAS, ACTIVE/PASSIVE RECREATION AREAS, OUTDOOR AMENITIES, NATURAL OPEN SPACE, AND EXCLUSIVE LANDSCAPE CORRIDORS ALONG STREET FRONTAGES.  
6. PER COEG IMPROVEMENT STANDARD (4.7G) DEVIATION REQUEST TO ELIMINATE THE RIGHT-TURN POCKET AT THE DRIVEWAYS ON BRUCEVILLE ROAD.  
7. PER COEG IMPROVEMENT STANDARD (4.7G) DEVIATION REQUEST TO REDUCE THE THROAT DEPTH REQUIREMENT OF 30 FEET. PROJECT PROPOSES TO REPLACE 13'-4" FEET; HOWEVER, THE PROJECT PROPOSES INSOUND LANS FOR A COMBINED THROAT DEPTH OF 84 FEET.

**PROJECT SUMMARY**  
ASSESSORS PARCEL NO. 12-0050-037  
PROJECT ADDRESS 10149 BRUCEVILLE ROAD ELK GROVE, CA 95624  
OWNER N103 PHAMSUONG NGUYEN REVOCABLE LIVING TRUST 1009 BOND ROAD ELK GROVE, CA 95624  
DEVELOPER/APPLICANT POPPY GROVE DEVELOPMENT PARTNERS LLC 405 14TH STREET, SUITE 800 OAKLAND, CA 94612 ATTN: MICHAEL JOHNSON  
ENGINEER TSD ENGINEERING, INC 7857 ACRES (GROSS) ±102 ACRES (NET) (NET OF STREET RIGHT OF WAY (R/W))  
EXISTING NUMBER OF LOTS (5) THREE  
PROPOSED NUMBER OF LOTS (5) THREE  
PROPOSED USE MULTIFAMILY  
EXISTING ZONING/GENERAL PLAN LAGUNA RIDGE SPECIFIC PLAN RD 30 / HDR  
PROPOSED ZONING LAGUNA RIDGE SPECIFIC PLAN RD 30 / HDR

**TENTATIVE MAP STATEMENT**  
I HEREBY STATE THAT ALL EASEMENTS AS INDICATED IN THE FIRST AMERICAN TITLE INSURANCE COMPANY PRELIMINARY TITLE REPORT NO. 2025-105204 DATED JULY 24, 2022 HAVE BEEN SHOWN HEREON AND/OR HAVE BEEN ACCOUNTED FOR IN NOTE PLACED HEREON. ALL EASEMENTS PROPOSED TO BE ABANDONED OR QUICHLABELED AND/OR ALL EASEMENTS THAT CANNOT BE LOCATED ARE NOTED HEREON.  
John E. Klean 2/18/2022  
SIGN DATE  
LICENSE REGISTRATION NO. 7175 EXPIRES: 12-31-2023

**SURVEY NOTES**  
1. ALL EXISTING EASEMENTS PER FIRST AMERICAN TITLE INSURANCE COMPANY PRELIMINARY TITLE REPORT NO. 2025-105204 DATED JULY 24, 2022.  
2. PER PRELIMINARY FIELD INVESTIGATION THERE IS EVIDENCE OF EXISTING OR ABANDONED DWELLS ON THE SUBJECT PARCEL.  
3. PER PRELIMINARY FIELD INVESTIGATION THERE IS EVIDENCE OF EXISTING OR ABANDONED SEPTIC ON THE SUBJECT PARCEL.  
4. PROPOSED LOT LINES AND LOTS MAY CHANGE DUE TO BUILDING CODE CONFORMANCE.  
5. PROJECT WILL BE REQUIRED TO CREAT REA AND/OR CURBS FOR RECREATIONAL VEHICLE, PEDESTRIAN, PARKING, AND DRAINAGE EASEMENTS.



TENTATIVE PARCEL MAP  
APRIL 5, 2022

**TSD ENGINEERING, INC.**  
expect more.  
785 Orchard Drive, Suite #110  
Folsom, CA 95630  
Phone: (916) 608-0707  
Fax: (916) 608-0701

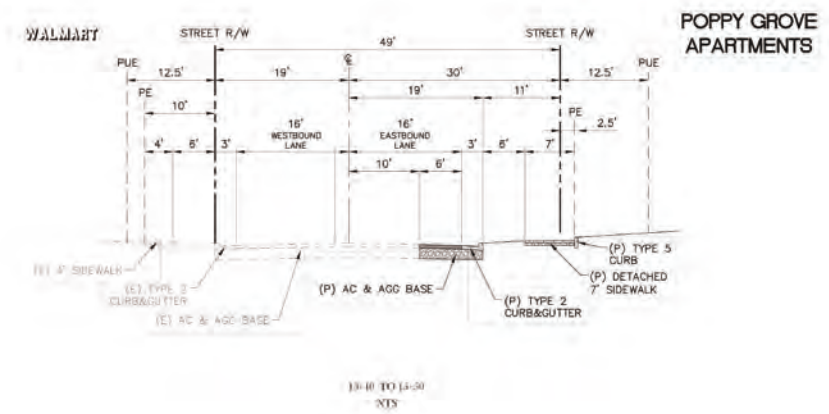
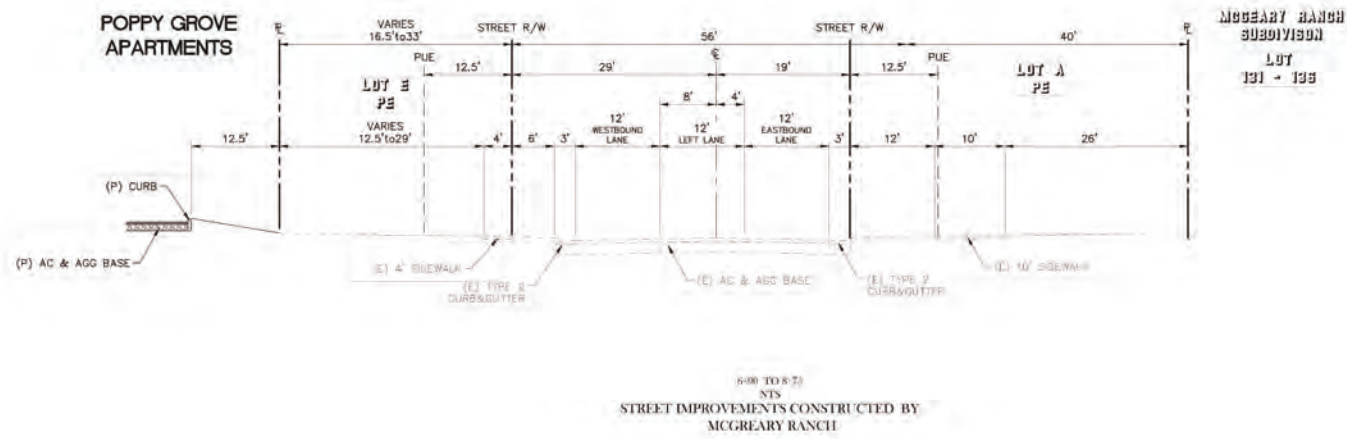
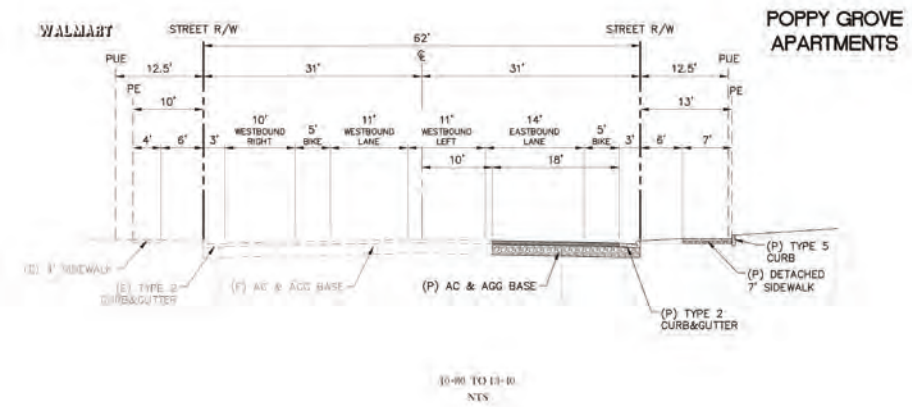
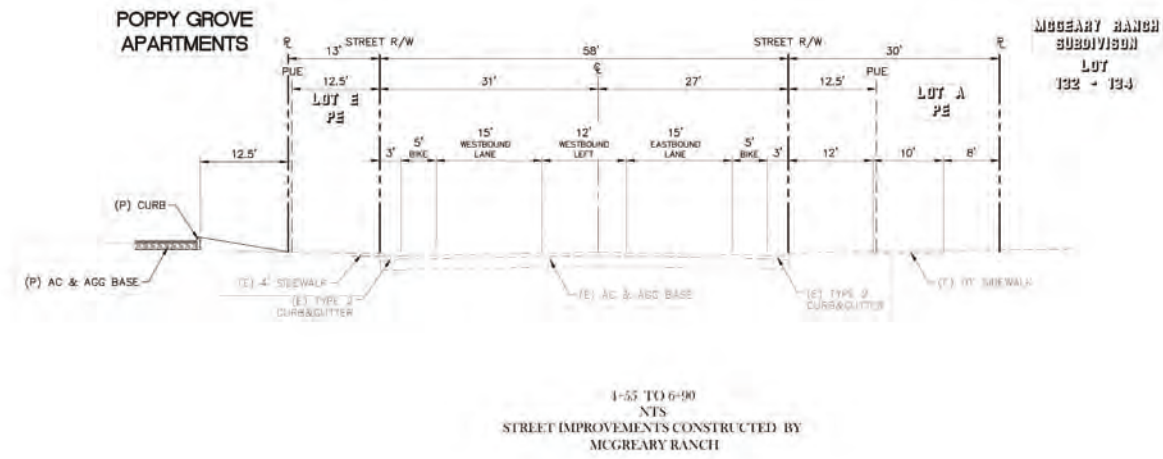
TPM-1







**TENTATIVE PARCEL MAP**  
**POPPY GROVE**  
**PARCEL 1 LOT LINE ADJUSTMENT 18-005**  
**10149 BRUCEVILLE ROAD**  
**CITY OF ELK GROVE, CA**

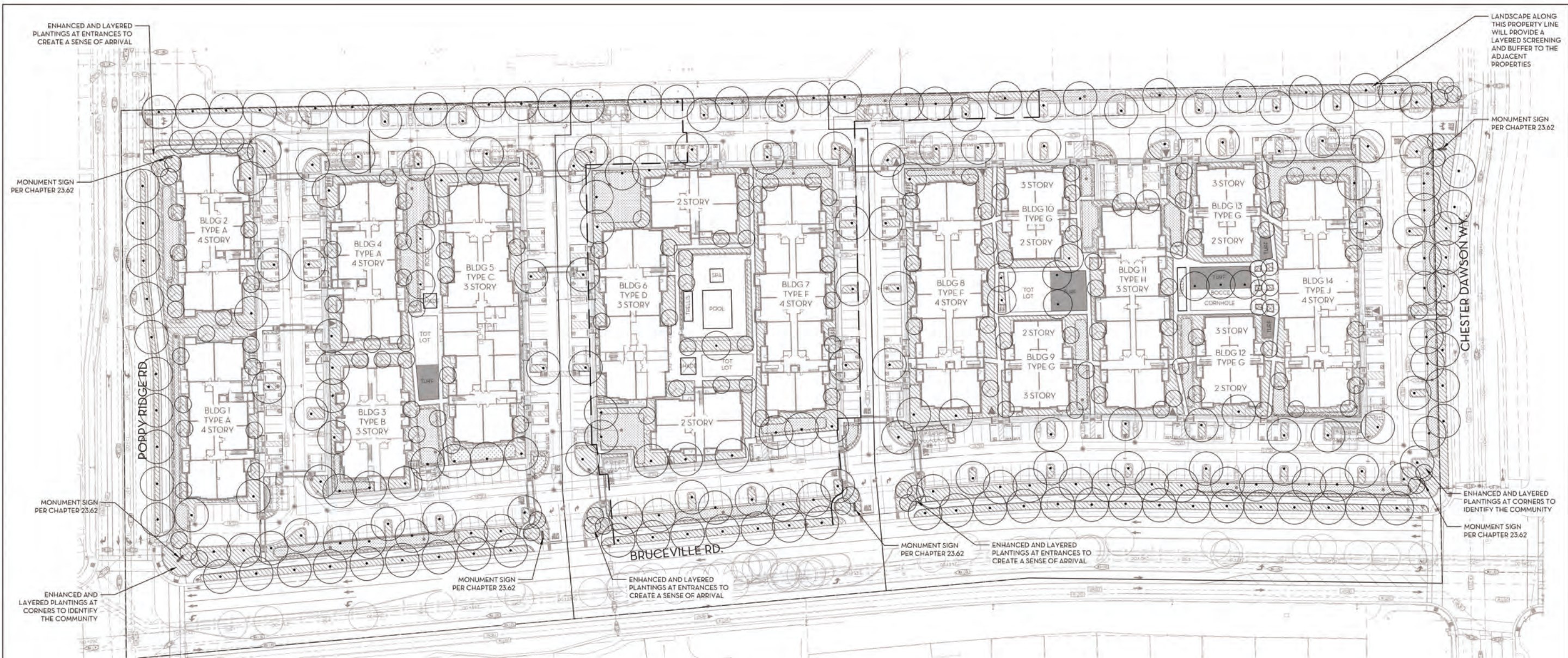


POPPY RIDGE ROAD  
 CHESTER DAWSON WAY  
 STREET SECTIONS  
 APRIL 5, 2022



785 Orchard Drive, Suite #110  
 Folsom, CA 95630  
 Phone: (916) 608-0707  
 Fax: (916) 608-0701





LANDSCAPE CONCEPT:  
 THE PRELIMINARY LANDSCAPE DESIGN IS INTENDED TO PROVIDE A WATER EFFICIENT LANDSCAPE WHICH PROVIDES VISUAL INTEREST THROUGHOUT THE YEAR WITH LAYERED TEXTURES AND COLORS. PLANTS ARE SELECTED BASED ON MACRO AND MICRO ENVIRONMENTS AND THE LONG TERM MAINTENANCE REQUIREMENTS.



COMMUNITY GATHERING AREA

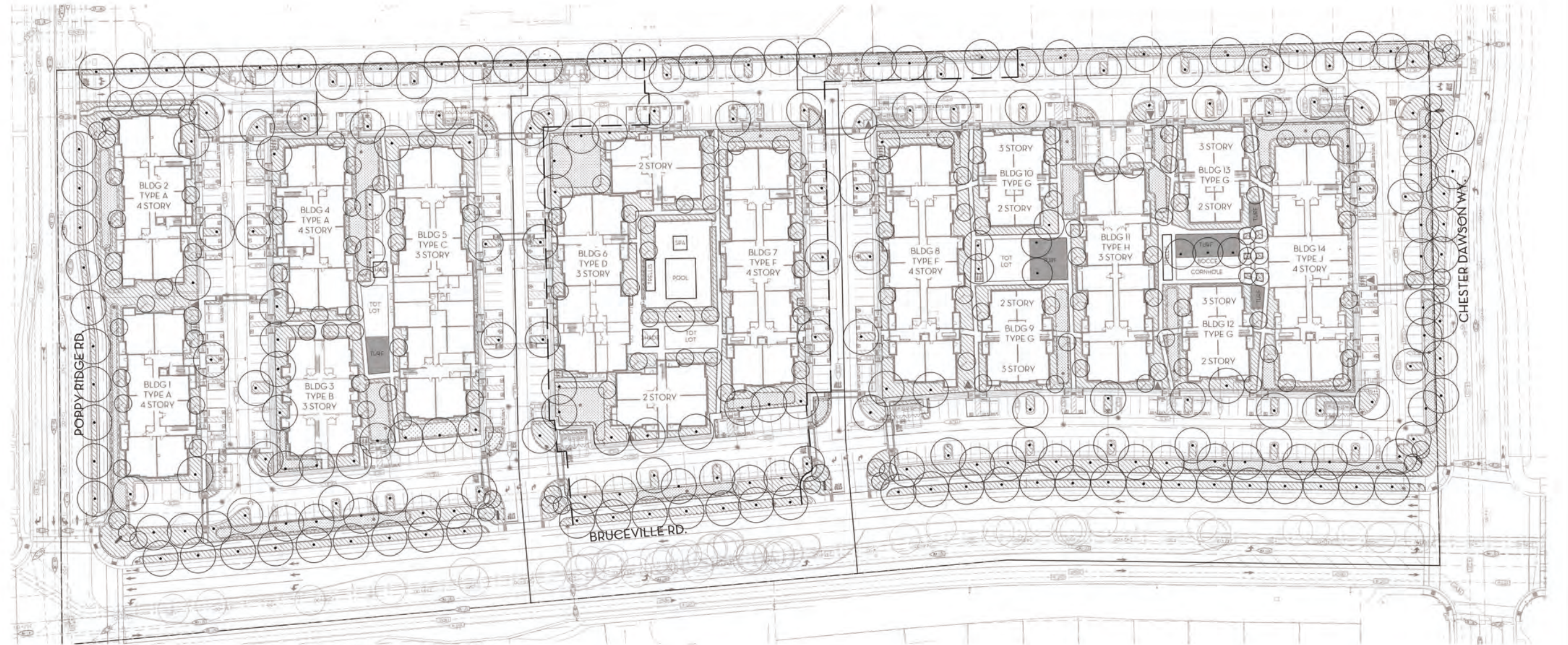


SWIMMING POOL



TOT LOT



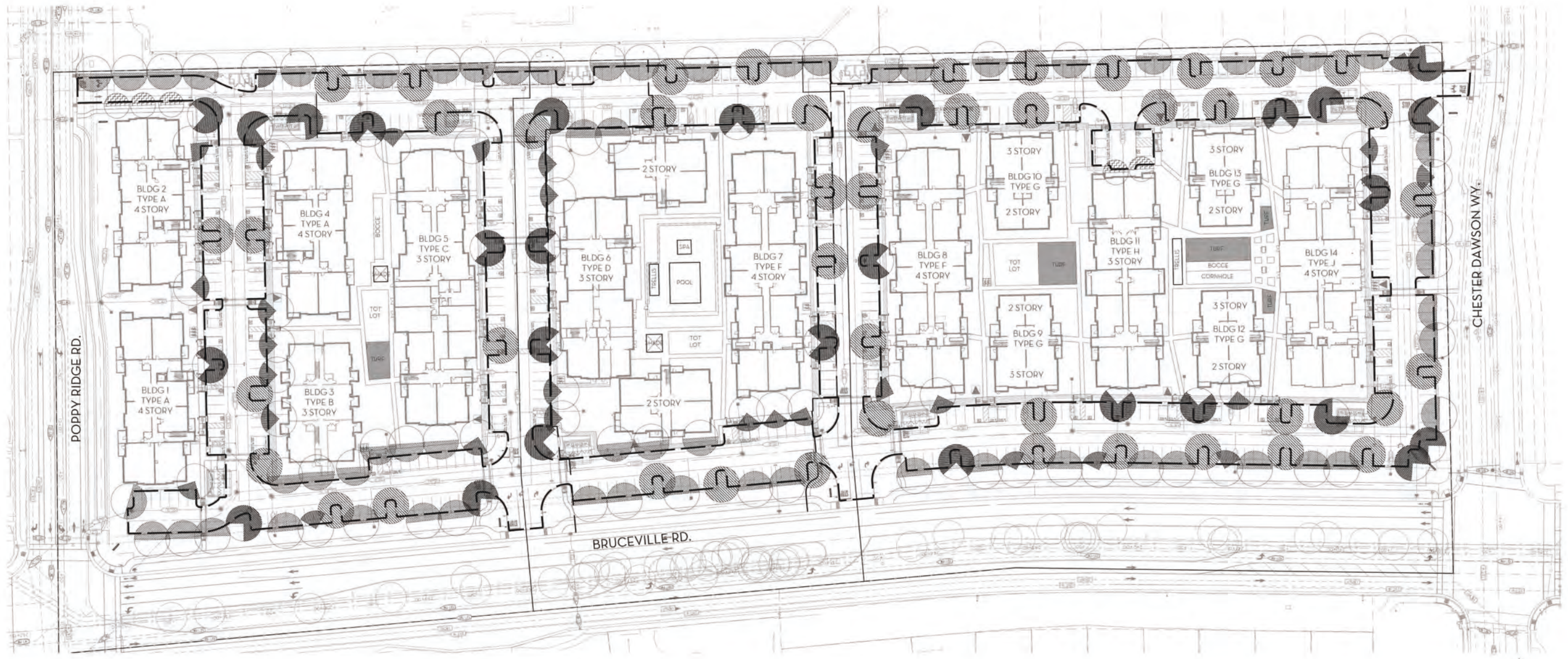


**PRELIMINARY PLANT SCHEDULE**

TYPE	BOTANICAL NAME	COMMON NAME	WATER USE	SIZE	HEIGHT/WIDTH
<b>30' 35' DIA. SHADE/STREET TREES</b>					
●	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE TREE	M	15 GAL.	35' x 35'
	MAGNOLIA G. 'SAMUEL SOMMER'	SOUTHERN MAGNOLIA	M	15 GAL.	35' x 35'
	PISTACIA CHINENSIS 'KEITH DAVEY'	FRUITLESS CHINESE PISTACHE	L	15 GAL.	35' x 35'
	ULMUS PARVIFOLIA 'DRAKE'	DRAKE'S CHINESE ELM	L	15 GAL.	40' x 30'
	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	M	15 GAL.	45' x 35'
<b>ACCENT TREES</b>					
○	ACER R. 'ARMSTRONG'	COLUMNAR RED MAPLE	M	24' BOX	35' x 12'
	CHIONANTHUS RETUSUS	CHINESE FRINGE TREE	M	24' BOX	18' x 15'
	COTINUS COGGYGRIA 'ROYAL PURPLE'	PURPLE SMOKE TREE	L	15 GAL.	15' x 15'
	LAGERSTROEMIA MUSKOGEE	MUSKOGEE CRAPE MYRTLE (STD.)	L	24' BOX	22' x 12'
	TRISTANIA LAURINA 'ELEGANT'	ELEGANT WATER GUM	M	24' BOX	18' x 10'
<b>SCREEN, FOUNDATION &amp; ACCENT SHRUBS</b>					
▨	ACACIA COGNATA 'COUSIN ITT'	COUSIN ITT ACACIA	L	5 GAL.	3' x 5'
	AGAVE 'BLUE FLAME'	BLUE FLAME AGAVE	L	3 GAL.	3' x 4'
	AGAVE 'BLUE GLOW'	BLUE GLOW AGAVE	L	3 GAL.	15' x 25'
	ANIGOZANTHOS HYBRID 'ORANGE'	ORANGE KANGAROO PAW	L	5 GAL.	35' x 25'
	ASPARAGUS D. 'MYERS'	MYERS ASPARAGUS	M	1 GAL.	25' x 35'
	ASPIDISTRA ELAIOR	CAST IRON PLANT	L	5 GAL.	5' x 3'
	BOUTELLOIA G. 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA	L	1 GAL.	15' x 15'
	CALLISTEMON V. 'LITTLE JOHN'	DWARF BOTTLEBRUSH	L	5 GAL.	3' x 3'
	DIANELLA REVOLUTA 'LITTLE REV'	LITTLE REV FLAX LILY	L	1 GAL.	2.5' x 1.5'
	GREVILLEA 'NOELLI'	NOEL'S GREVILLEA	L	15 GAL.	4' x 4.5'
	HESPERALOE PARVIFOLIA	RED YUCCA	L	5 GAL.	3.5' x 3.5'
	JUNIPERUS SCO. 'MOONGLOW'	MOONGLOW JUNIPER	L	15 GAL.	8' x 4.5'
	LAVANDULA STOECHAS 'OTTO QUAST'	SPANISH LAVENDER	L	5 GAL.	2.5' x 2.5'
	LOMANDRA LONGIFOLIA 'LOMLON'	LIME TUFT DWARF MAT RUSH	L	1 GAL.	2.5' x 2.5'
	LOMANDRA PLATINUM BEAUTY	PLATINUM BEAUTY LOMANDRA	L	1 GAL.	2.5' x 3'
	MUHLENBERGIA CAPILLARIS	PINK MUHLY	L	5 GAL.	3' x 3'
	NANDINA D. 'LEMON LIME'	LEMON LIME NANDINA	L	5 GAL.	3' x 3'
	PEROVSKIA A. 'BLUE SPIRES'	RUSSIAN SAGE	L	5 GAL.	3.5' x 3.5'
	PODOCARPUS M. 'MAKI'	SHRUBBY YEW PINE	M	15 GAL.	8' x 4'
	RHAPHIOLEPIS UMBELLATA 'MINOR'	DWARF YEDDO HAWTHORN	L	5 GAL.	3.5' x 3.5'
	SALVIA LEUCANTHA 'SANTA BARBARA'	COMPACT MEXICAN BUSH SAGE	L	5 GAL.	2.5' x 3.5'
	WESTRINGIA R. 'MORNING LIGHT'	VARIEGATED COAST ROSEMARY	L	5 GAL.	5' x 3'
<b>GROUNDCOVERS</b>					
▨	FESTUCA 'ELIJAH BLUE'	BLUE FESCUE	L	1 GAL.	1' x 1', 18" O.C.
	HARDENBERGIA 'WALKABOUT PURPLE'	DWARF LILAC VINE	M	5 GAL.	25' x 25', 36" O.C.
	LANTANA MONTEVIDENSIS	TRAILING PURPLE LANTANA	L	5 GAL.	2' x 6', 48" O.C.
	LAVANDULA ANGUSTIFOLIA 'MUNSTEAD'	DWARF ENGLISH LAVENDER	L	1 GAL.	15' x 15', 18" O.C.
	MYOPORIUM PARVIFOLIUM 'PINK'	CREeping MYOPORIUM	L	5 GAL.	0.5' x 9', 60" O.C.
	VERBENA PERUVIANA	PERUVIAN VERBENA	L	1 GAL.	1' x 3', 36" O.C.
<b>BIOFILTRATION AREA</b>					
▨	CHONDRPETALUM TECTORIUM	CAPE RUSH	L	1 GAL.	2' x 2'
	JUNCUS PATENS	CALIFORNIA GREY RUSH	M	1 GAL.	2' x 1'
	LEYMUS CONDENSATUS	CANYON PRINCE WILD RYE	L	1 GAL.	2' x 3'
	MUHLENBERGIA RIGENS	DEER GRASS	L	1 GAL.	4' x 4'
<b>TURF</b>					
■	BOLERO PLUS; (90% BOLERO DWARF FESCUE & 10% KENTUCKY BLUEGRASS) *AS AVAILABLE FROM DELTA BLUEGRASS			H	SOD







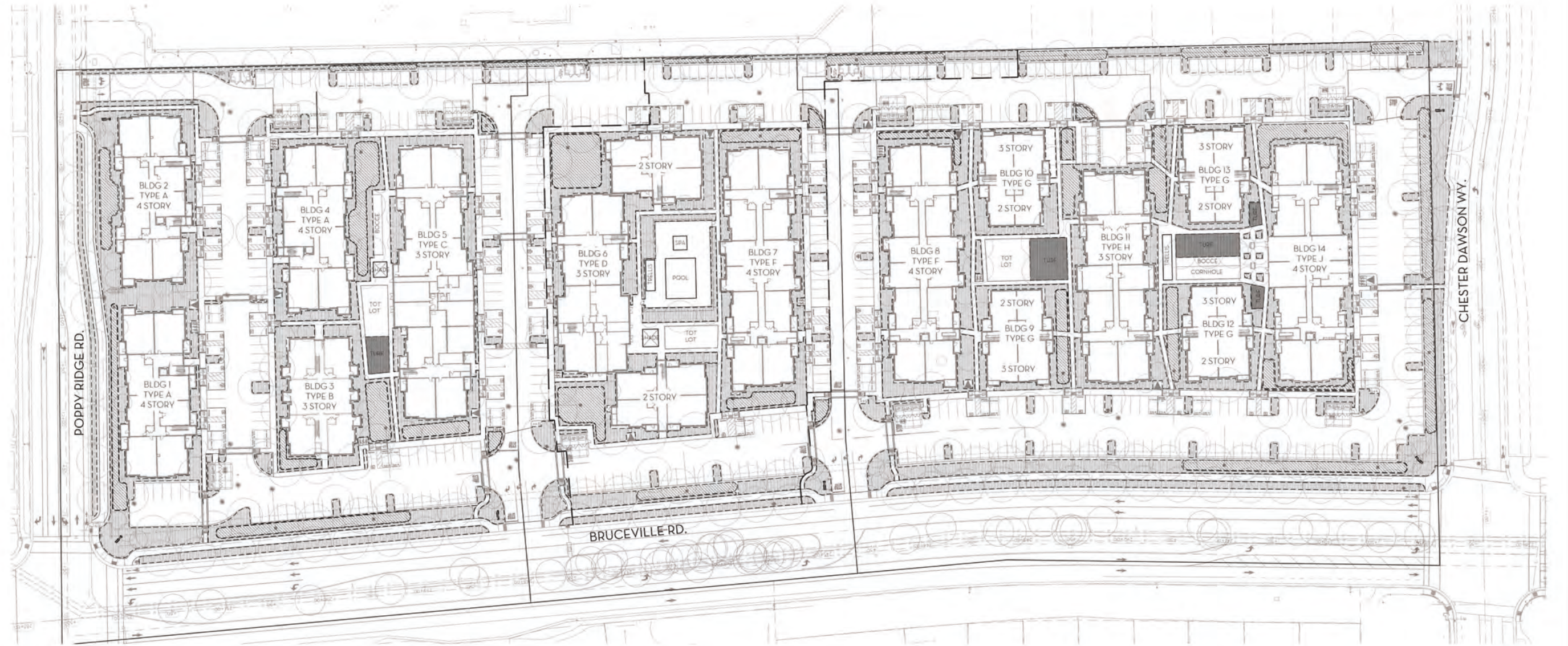
PARKING LOT AREA SHADE CALCULATIONS

TREE SIZE	F	TQ	H	Q	TOTAL
35' DIA.	45@962	27@721	61@481	30@241	99,325 SF
25' DIA.	0@491	0@368	0@246	5@123	1,230 SF
TOTAL TREE SHADE					100,555 SF
TOTAL PARKING LOT AREA					201,370 SF
REQUIRED SHADE (50%)					100,685 SF
PROVIDED SHADE					50% (49.9%)

LIMIT OF AREA FOR SHADE CALCULATIONS







POPPY GROVE APARTMENTS, 1049 BRUCEVILLE ROAD, ELK GROVE, CA 95757  
 WATER EFFICIENT LANDSCAPE WORKSHEET  
 DATE: 10/20/2022 10:00:00 AM

PLANT NUMBER	PLANT SPECIES	PLANT TYPE	PLANT SIZE	PLANT SPACING	PLANT DENSITY	PLANT AREA (SQ FT)	PLANT AREA (SQ FT)	PLANT AREA (SQ FT)	PLANT AREA (SQ FT)
ALL PLANTS	OSP	LOW	0.2	0.25	0.25	17,964	0.25	4,491.00	37,512
ALL PLANTS	OSP	MODERATE	0.5	0.25	0.25	23,000	0.25	5,750.00	41,500
ALL PLANTS	OSP	MODERATE	0.5	0.25	0.25	20,700	0.25	5,175.00	35,700
ALL PLANTS	OSP	LOW	0.2	0.25	0.25	1,900	0.25	475.00	3,800
ALL PLANTS	OSP	MODERATE	0.5	0.25	0.25	1,700	0.25	425.00	3,400
TOTALS:						18,228	0.25	4,586.00	34,812

PLANT NUMBER	PLANT SPECIES	PLANT TYPE	PLANT SIZE	PLANT SPACING	PLANT DENSITY	PLANT AREA (SQ FT)	PLANT AREA (SQ FT)	PLANT AREA (SQ FT)	
ALL PLANTS	POOL/SPA	HIGH	0.8	0.25	0.25	1,300	1.00	1,300.00	1,300
TOTALS:						1,300	1.00	1,300.00	1,300

ETAP	ETAP AREA	ETAP AREA
ETAP - REGULAR	37,512	37,512
ETAP - POOL/SPA	1,300	1,300
TOTAL ETAP AREA	38,812	38,812

ETAP	ETAP AREA	ETAP AREA
ETAP - REGULAR	37,512	37,512
ETAP - POOL/SPA	1,300	1,300
TOTAL ETAP AREA	38,812	38,812

ETAP CALCULATIONS:

ETAP	ETAP AREA	ETAP AREA
ETAP - REGULAR	37,512	37,512
ETAP - POOL/SPA	1,300	1,300
TOTAL ETAP AREA	38,812	38,812

ETAP CALCULATIONS:

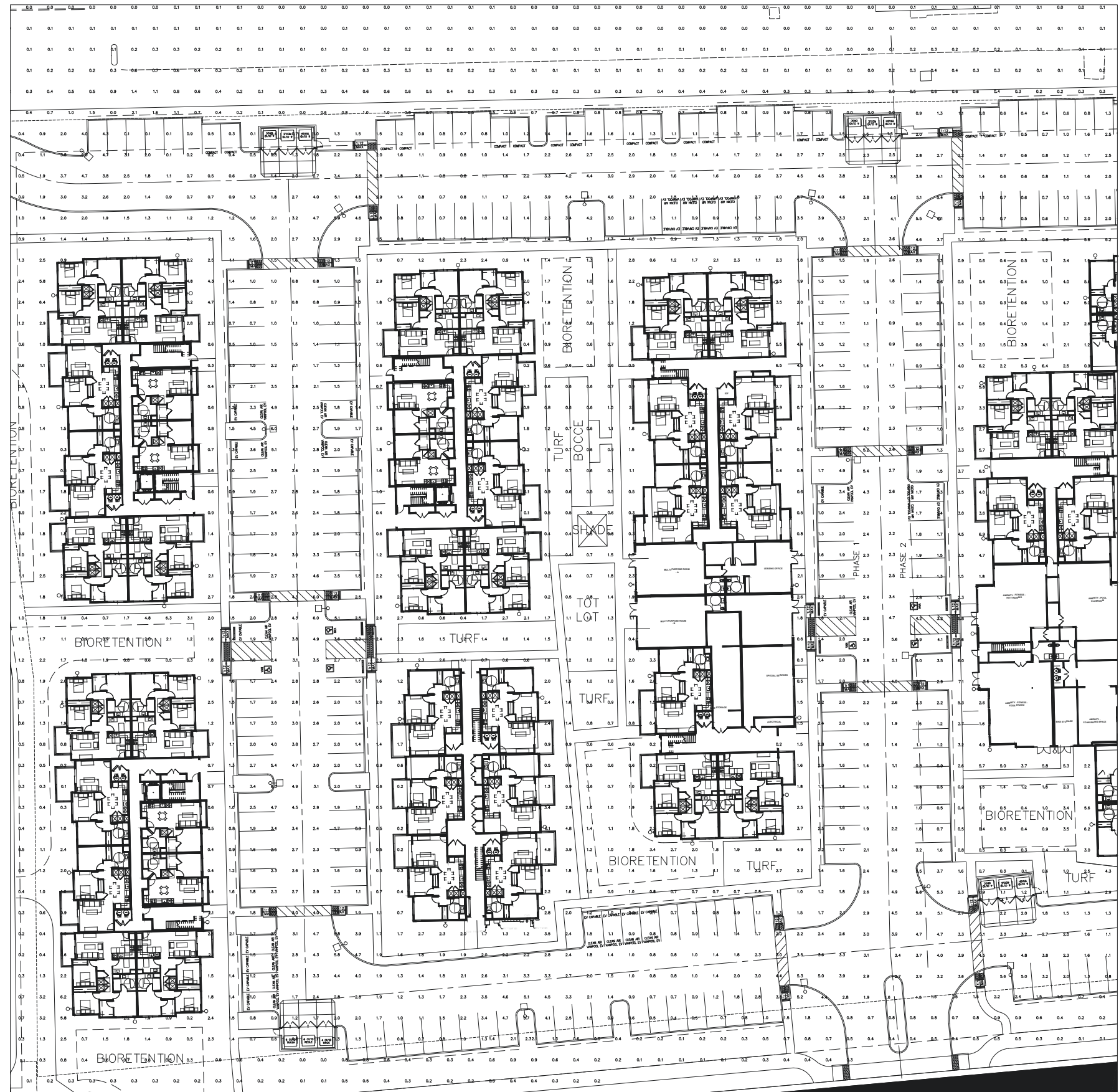
ETAP	ETAP AREA	ETAP AREA
ETAP - REGULAR	37,512	37,512
ETAP - POOL/SPA	1,300	1,300
TOTAL ETAP AREA	38,812	38,812

CALCULATIONS ASSUME THAT 20% OF ALL SHRUBS ARE LOW, 20% ARE MODERATE, 50% OF ALL TREES ARE LOW, 20% ARE MODERATE, 30% ARE HIGH. BIRCH PLANTING AREAS ARE MODERATE.

FULL IRRIGATION SYSTEM COVERAGE DELINEATION WILL BE SUBMITTED WITH PLANS FOR BUILDING PERMITS

**A** PRELIMINARY WATER EFFICIENT LANDSCAPE WORKSHEET  
 NO SCALE





**LUMINAIRE SCHEDULE**

CALLOUT	SYMBOL	LAMP	DESCRIPTION	BALLAST	MOUNTING	MODEL	FOOT-C
S1	□	(1) 100W LED	VICTORY LIGHTING POLE	ELECTRONIC	POLE	ZUMA LIGHTING VC-75W-LE-UNV-4K-TE-C1-DB P-12-45-52-AB09-DB	120V 1P 2W
SB	○	(1) 15W LED	Bollard	ELECTRONIC	POLE	Tech Lighting 7000BDR-830-40-C-Z-UNV-S	120V 1P 2W
SD	○	(1) 60W SOLISTICE LED ARCHITECTURAL	DECORATIVE LIGHTING POLE	ELECTRONIC	POLE	ZUMA LIGHTING SOL-S-2-70-U-4K-A-T3-DB-M-D	120V 1P 2W
WT	○	(1) 40W LED FULL CUT-OFF WALL PACK	WALL PACK	ELECTRONIC	WALL	ZUMA LIGHTING WP-10-50-U-4K-T3-DB	120V 1P 2W

**WALKWAYS**

AVERAGE FOOT-CANDLES	1.24
MAXIMUM FOOT-CANDLES	2.7
MINIMUM FOOT-CANDLES	.5
MAXIMUM TO MINIMUM FC RATIO	5.44
AVERAGE TO MINIMUM FC RATIO	2.46
Phase 1	

**Parking, driveways, trash enclosures**

AVERAGE FOOT-CANDLES	2.22
MAXIMUM FOOT-CANDLES	6
MINIMUM FOOT-CANDLES	.5
MAXIMUM TO MINIMUM FC RATIO	12.96
AVERAGE TO MINIMUM FC RATIO	4.81
Phase 1	

**NON RESIDENTIAL ENTRANCE**

AVERAGE FOOT-CANDLES	1.71
MAXIMUM FOOT-CANDLES	2.3
MINIMUM FOOT-CANDLES	.9
MAXIMUM TO MINIMUM FC RATIO	2.56
AVERAGE TO MINIMUM FC RATIO	1.89
Phase 1	

Designed & Installed By:  
**CITIZEN CORP**  
 210526  
 DATE: 9/30/21  
 SIGNED:  
 340 Spenker Ave  
 Modesto, CA 95354  
 209-531-1122  
 209-531-1199 fax  
 CSL # 850186

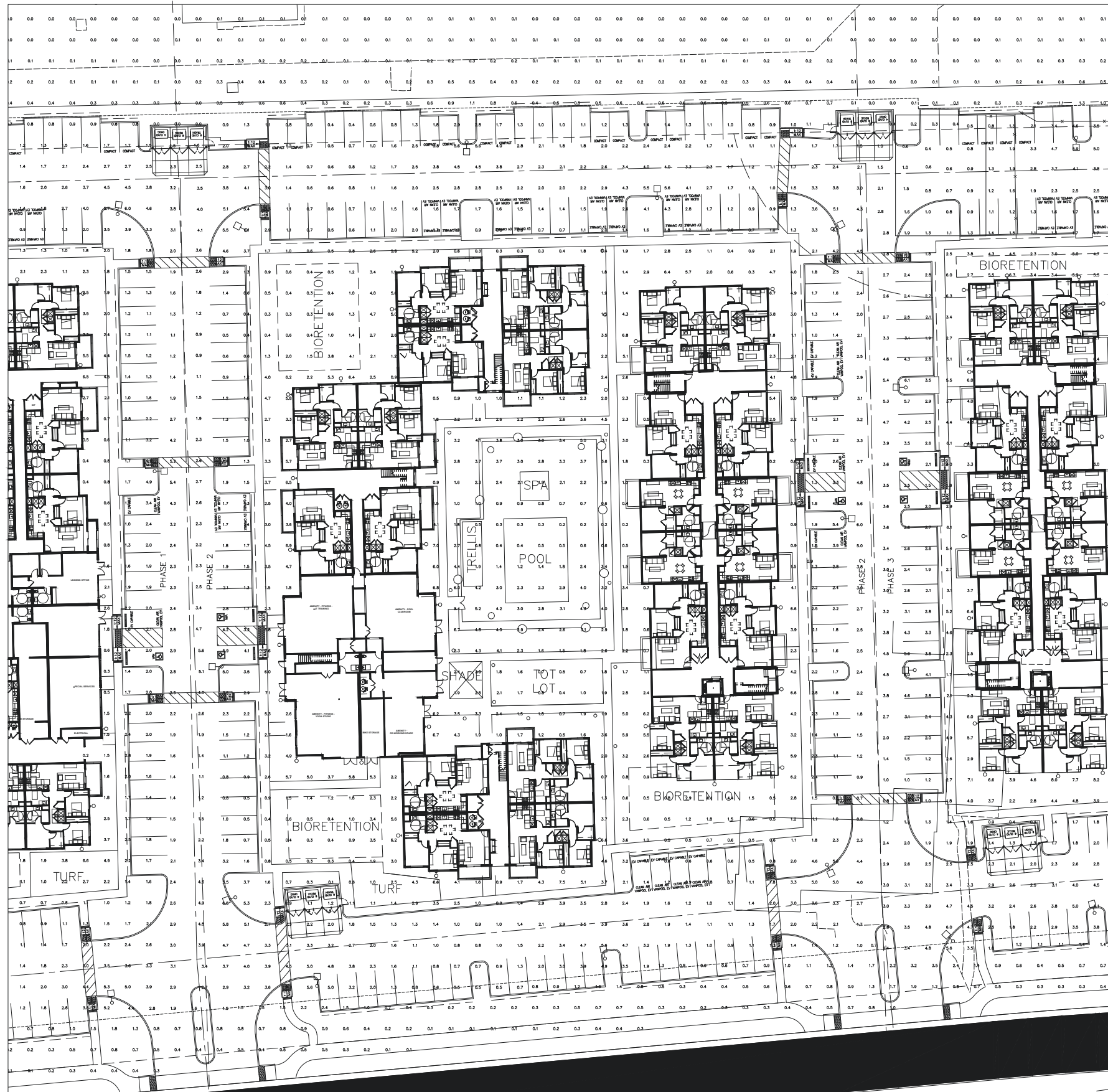
**POPPY GROVE APARTMENTS**

**SITE LIGHTING PHOTOMETRIC PHASE 1**

DATE	9/30/21
REVISIONS	
PERMIT SET	
RESUBMITAL	
0	
1	

P/PM: PS  
 DRAWN BY: DE  
 JOB NO.: 210526





LUMINAIRE SCHEDULE						
CALLOUT	SYMBOL	LAMP	DESCRIPTION	BALLAST	MOUNTING	MODEL
S1	□	(1) 100W LED	VICTORY LIGHTING POLE	ELECTRONIC	POLE	ZUMA LIGHTING VC-70W-LE-UVV-4K-TE-C1-DB P-12-45-52-AB09-DB
S8	○	(1) 15W LED	Bollard	ELECTRONIC	POLE	Teck Lighting 7000BTUR-830-40-C-Z-UNV-S
S3	○	(1) 60W SOLISTICE LED ARCHITECTURAL	DECORATIVE LIGHTING POLE	ELECTRONIC	POLE	ZUMA LIGHTING SOL-S-2-70-U-W-A-T3-DB-M-D
W1	○	(1) 40W LED FULL CUT-OFF WALL PACK	WALL PACK	ELECTRONIC	WALL	ZUMA LIGHTING WP-10-50-U-4K-T3-DB

Walkways	
AVERAGE FOOT-CANDELES	1.91
MAXIMUM FOOT-CANDELES	6.8
MINIMUM FOOT-CANDELES	.2
MAXIMUM TO MINIMUM FC RATIO	34.03
AVERAGE TO MINIMUM FC RATIO	9.6
Phase 2	
Parking, driveways, trash enclosures	
AVERAGE FOOT-CANDELES	2.19
MAXIMUM FOOT-CANDELES	6.1
MINIMUM FOOT-CANDELES	.4
MAXIMUM TO MINIMUM FC RATIO	14.98
AVERAGE TO MINIMUM FC RATIO	5.33
Phase 2	
NON RESIDENTIAL ENTRANCE	
AVERAGE FOOT-CANDELES	4.84
MAXIMUM FOOT-CANDELES	9
MINIMUM FOOT-CANDELES	1.3
MAXIMUM TO MINIMUM FC RATIO	6.73
AVERAGE TO MINIMUM FC RATIO	3.64
Phase 2	

Designed & Installed By:  
**CITIZEN CORP**  
 210526  
 DATE: 9/30/21  
 SIGNED:  
 340 Spenker Ave  
 Modesto, CA 95354  
 209-531-1122  
 209-531-1199 fax  
 CSL # 850186

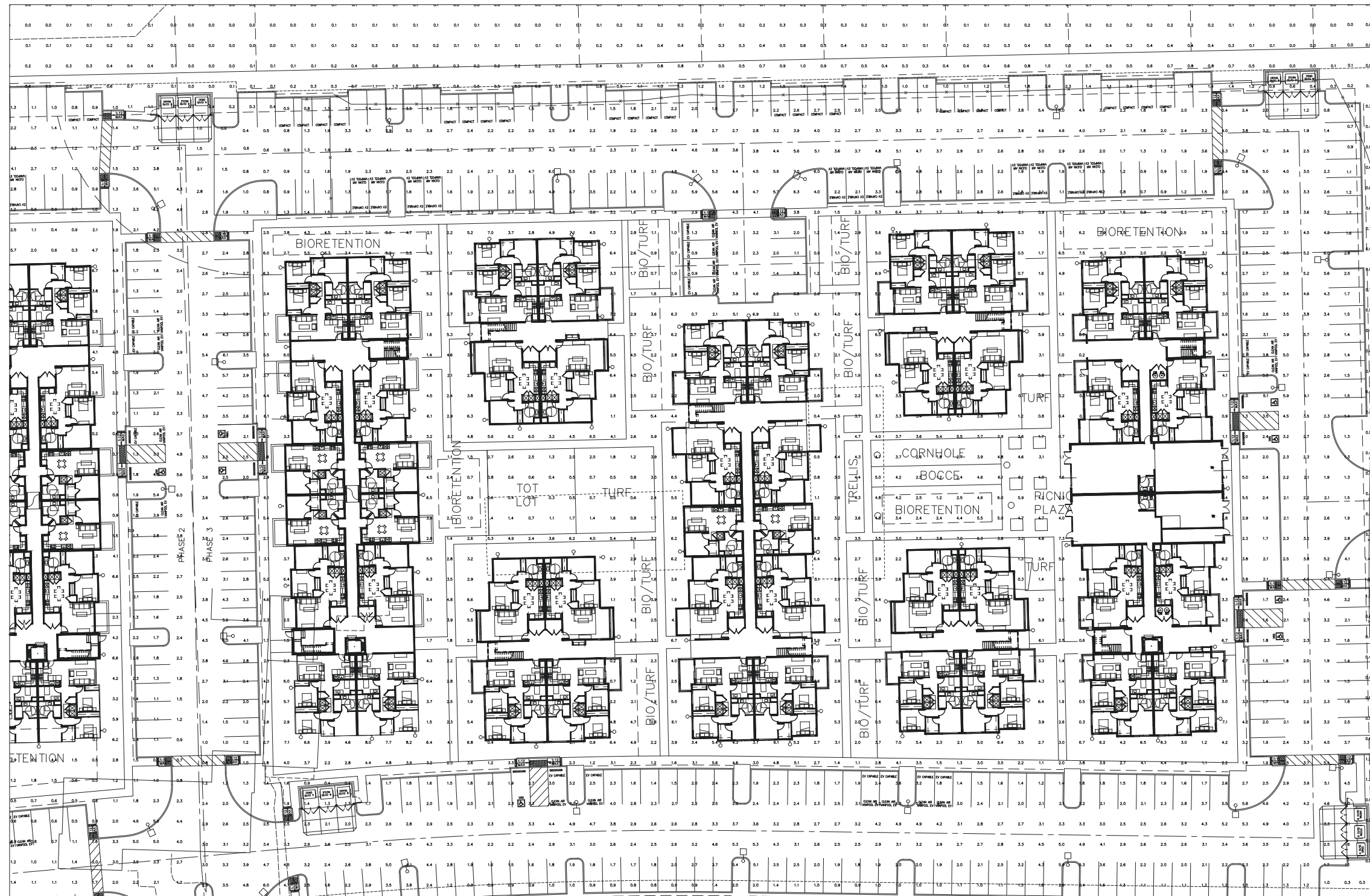
**POPPY GROVE APARTMENTS**

**SITE LIGHTING PHOTOMETRIC PHASE 2**

DATE	12/17/21
ISSUES	
PERMITS SET	
RESUBMITAL	

PA/PM: PS  
 DRAWN BY: DE  
 JOB NO.: 210526





LUMINAIRE SCHEDULE						
CALLOUT	SYMBOL	LAMP	DESCRIPTION	BALLAST	MOUNTING	MODEL
S1	□	(1) 100W LED	VICTORY LIGHTING POLE	ELECTRONIC	POLE	ZUMA LIGHTING VJC-75W-LE-UNV-6K-TE-C1-DB P-12-45-S2-AB09-DB
SB	○	(1) 15W LED	Bollard	ELECTRONIC	POLE	Tech Lighting 7000BTR-830-40-C-Z-UNV-S
SD	○	(1) 60W SOLISTICE LED ARCHITECTURAL	DECORATIVE LIGHTING POLE	ELECTRONIC	POLE	ZUMA LIGHTING SOL-S-2-70-U-4K-A-T3-DB-M-D
WT	○	(1) 40W LED FULL OUT-OFF WALL PACK	WALL PACK	ELECTRONIC	WALL	ZUMA LIGHTING WP-10-50-U-4K-T3-DB

Walkways	Parking, driveway, trash enclosures	Non residential entrance
AVERAGE FOOT-CANDELS 3.91	AVERAGE FOOT-CANDELS 2.97	AVERAGE FOOT-CANDELS 5.96
MAXIMUM FOOT-CANDELS 7	MAXIMUM FOOT-CANDELS 6.1	MAXIMUM FOOT-CANDELS 10.3
MINIMUM FOOT-CANDELS 2	MINIMUM FOOT-CANDELS 4	MINIMUM FOOT-CANDELS 1.4
MAXIMUM TO MINIMUM FC RATIO 34.6	MAXIMUM TO MINIMUM FC RATIO 15.28	MAXIMUM TO MINIMUM FC RATIO 7.61
AVERAGE TO MINIMUM FC RATIO 14.46	AVERAGE TO MINIMUM FC RATIO 6.48	AVERAGE TO MINIMUM FC RATIO 4.39

Designed & Installed By:  
**CITIZEN CORP**  
 210526  
 DATE: 9/30/21  
 SIGNED:  
 340 Spenker Ave  
 Modesto, CA 95354  
 209-531-1122  
 209-531-1199 fax  
 CSL # 850186

POPPY GROVE APARTMENTS

SITE LIGHTING PHOTOMETRIC PHASE 3	
DATE	REVISION
12/17/21	REVISION SET
2/1/22	RESUBMITAL
0	
1	

PA/PM: PS  
 DRAWN BY: DE  
 JOB NO.: 210526

E1.3



SUBMITTED BY CITIZEN CORPORATION  

 Poppy Grove Apartments  
 Catalog Number: VYC-100W-LE-UNV-4K-TE-CL-DB-P-25-45-5-2-4809-08  
 Type: **S1**

  
**ZUMALIGHTING**  
 QUALITY OUTDOOR SOLUTIONS



MODEL  
**VICTORY**  
 TYPE  
**LED AREA**  
 SERIES  
**SITE & AREA**

ZUMA LIGHTING LLC  
 325 N LARCHMONT BLVD STE 406, LOS ANGELES, CA 90004  
 INFO@ZUMALIGHTING.COM • (310) 972-3126 • ZUMALIGHTING.COM

1

SUBMITTED BY CITIZEN CORPORATION  

 Poppy Grove Apartments  
 Catalog Number: SOL-S-2-70-U-4K-A-T3-DB-M-D  
 Type: **SD**

  
**ZUMALIGHTING**  
 QUALITY OUTDOOR SOLUTIONS



MODEL  
**SOLSTICE**  
 TYPE  
**LED**  
 SERIES  
**ARCHITECTURAL**

ZUMA LIGHTING LLC  
 325 N LARCHMONT BLVD STE 406, LOS ANGELES, CA 90004  
 INFO@ZUMALIGHTING.COM • (310) 972-3126 • ZUMALIGHTING.COM

1

Submitted by Citizen Corporation  

 Poppy Grove Apartments  
 Catalog Number: 7000TUR-830-40-C-2-UNV-5-TECH LIGHTING  
 Type: **SB**

**TURBO** BOLLARD


The Turbo bollard LED bollard features a sleek, cylindrical aluminum housing with adjustable lighting. The Turbo bollard offers symmetric lighting with beam spread options of 90° or 40° to create the right lighting for each unique setting.

**Universal 600-277V driver with integral transient surge protection at 2.5KV per ANSI and IEEE standards**

**Outstanding protection against the elements:**

- Powder coat finishes
- Stainless Steel mounting hardware
- Impact-resistant, UV stabilized frosted acrylic lensing

**SPECIFICATIONS**

DRIVER (LUMENS)	20,000LM, 40,000LM
WATTS	20 or 40
WILDLIFE	Lighted 100-277V with integral 2.5KV surge protection (UL989) or 2KV
SECURITY (WIRE)	5/8" DIA 277V
PROTECTION	IP68, IK08 (Vandal)
DIMMING	3.0, 5.0, 10.0, 20.0
LIGHT DISTRIBUTION	90° or 40°
OPTICS	27" or 40"
MINIMUM CUT-OFF*	300
PERFORMANCE OPTICAL	Photometric (See Data Sheet)
CET	7000K or 4000K
CR	85
COLOR RENDERING	1 hour
BUILD HEIGHT	34.00" or 44.00"
BASE DIA	2.00"
WET LISTED	Yes
GENERAL LISTING	415
CALIFORNIA TITLE 24	Yes (See datasheet for compliance with Title 24 Part 0140 section 406. Compliance with Title 24 Appendix 4.03, 4.04 and 4.05)
START TEMP	32°C
FIELD SERVICEABLE (FS)	Yes
COUNTERTOP	Aluminum
HARDWARE	Stainless Steel
FINISH	Powder Coat
LED LIFE TIME	50,000 hours
WARRANTY	5 Year
WEIGHT	11.5 lbs

\*All specifications are for typical conditions unless otherwise noted.

**ORDERING INFORMATION**

7000TUR	20000LM	40000LM	40000LM	40000LM	40000LM	40000LM	40000LM	40000LM	40000LM
1	1	1	1	1	1	1	1	1	1
2	2	2	2	2	2	2	2	2	2
3	3	3	3	3	3	3	3	3	3
4	4	4	4	4	4	4	4	4	4
5	5	5	5	5	5	5	5	5	5
6	6	6	6	6	6	6	6	6	6
7	7	7	7	7	7	7	7	7	7
8	8	8	8	8	8	8	8	8	8
9	9	9	9	9	9	9	9	9	9
0	0	0	0	0	0	0	0	0	0
1	1	1	1	1	1	1	1	1	1

\*All specifications are for typical conditions unless otherwise noted.

TURBO BOLLARD (Open or Vandal)  
 TURBO BOLLARD (Open or Vandal)  
**12V AC TRANSFORMERS\***

\*All specifications are for typical conditions unless otherwise noted.

ZUMA LIGHTING LLC  
 325 N LARCHMONT BLVD STE 406, LOS ANGELES, CA 90004  
 INFO@ZUMALIGHTING.COM • (310) 972-3126 • ZUMALIGHTING.COM

SUBMITTED BY CITIZEN CORPORATION  

 Poppy Grove Apartments  
 Catalog Number: WP-10-50-U-4K-T3-DB ZUMA LIGHTING  
 Type: **W1**

  
**ZUMALIGHTING**  
 QUALITY OUTDOOR SOLUTIONS

## West Point LED Full Cut-Off Wall Pack

**Description:**  
 Light up your outdoor area with West Point Full Cut-Off Wall Pack. It is a high efficient lighting solution that provides a long-lasting and energy-saving. The rugged housing offers enhanced thermal management and protection against various environmental conditions without compromising aesthetics.

**Optional:**

- ETL/ETL DLC premium certificate.
- Easy installation.
- Max location rated IP68.
- Durable die-cast aluminum housing.
- Photocell and motion sensor options.
- UV-resistant polycarbonate reflector lens.
- Emergency power SW & operating time 1.5 hours.
- TypeII / TypeIII / TypeIV distribution optics standard

**Applications:**  
 Outdoor wall-mount applications: building facade, commercial, industrial, retail, hospitality buildings that demand long service life and low maintenance.







  
 ZUMA LIGHTING  
 QUALITY OUTDOOR SOLUTIONS

Designed & Installed By:  
**CITIZEN CORP**  
 210526  
 DATE: 9/30/21  
 SIGNED:

340 Spenser Ave  
 Modesto, CA 95354  
 209-531-1122  
 209-531-1199 fax  
 CSL # 850186

**POPPY GROVE APARTMENTS**

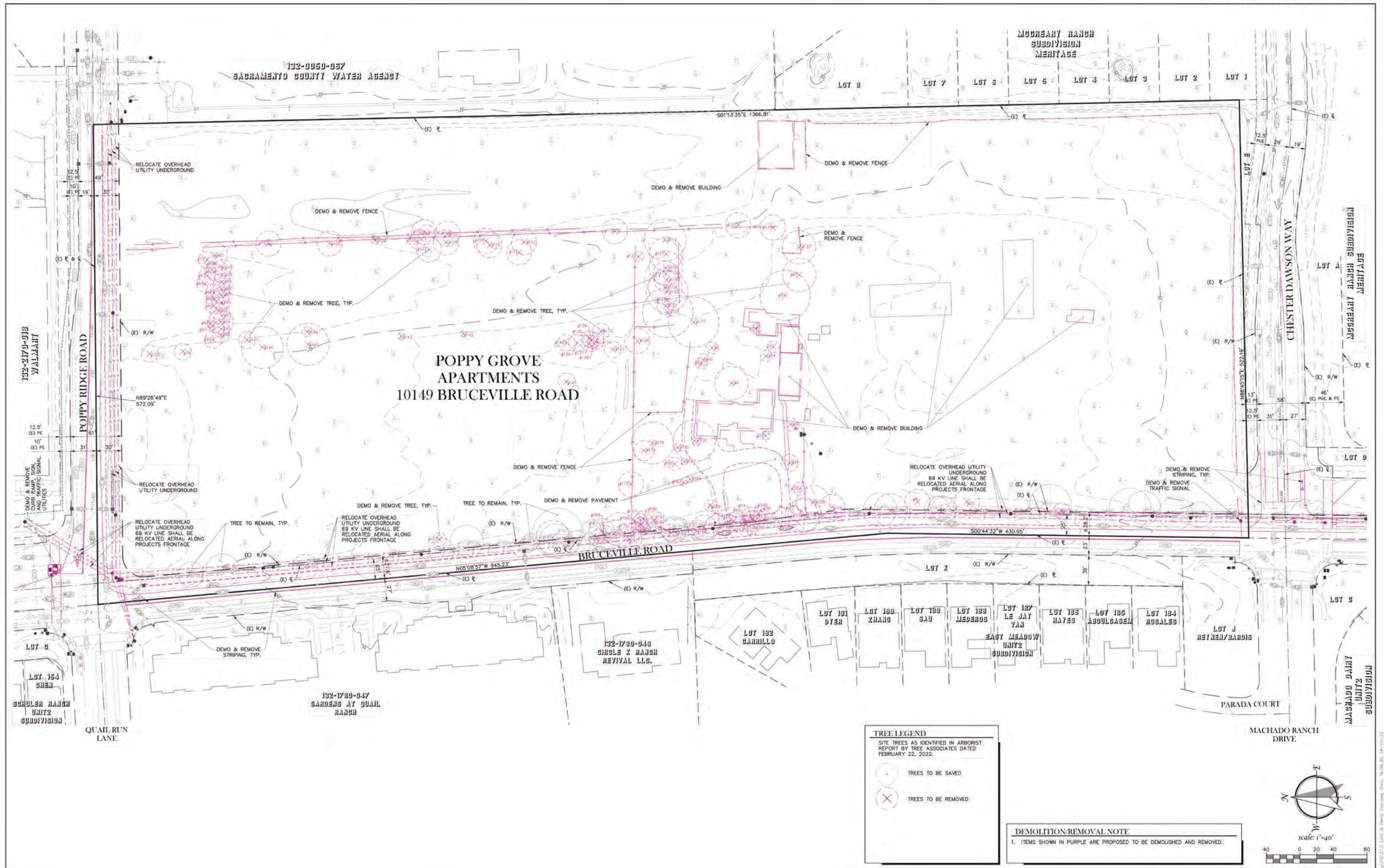
**SITE LIGHTING CUT SHEETS**

DATE	REVISED BY	REVISION
10/11/21	DE	RESUBMIT
2/11/22	DE	RESUBMIT

P&P: PS  
 DRAWN BY: DE  
 JOB NO.: 210526

E1.4





POPPY GROVE APARTMENTS

C.I.I.

Elk Grove, CA

Proposed By: Poppy Grove Development Partners, LLC

In Association With:  
 HED (Architects), TSD Engineering, Inc. (Civil)  
 & Wilson Design Studio (Landscape Architecture)



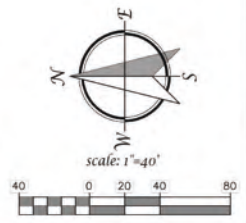
APRIL 5, 2022 - FOURTH SUBMITTAL





POPPY GROVE  
APARTMENTS  
10149 BRUCEVILLE ROAD

<p><b>CITY OF ELK GROVE</b>                  BENCHMARK: WHITE 2008    NAVD88 ELEV = 30.43 FEET                  A 3.5" BRASS DISK, STAMPED "WHITE 2008", SET IN CONCRETE SIDEWALK EAST SIDE OF BRIDGE OVER DRAINAGE CANAL NEAR THE INTERSECTION OF WHITELOCK PARKWAY AND BRUCEVILLE ROAD. ELEVATION = 30.43 FEET NAVD 88. (NGVD CONVERSION -2.26 FEET)</p>	
<p><b>BASIS OF BEARING</b>                  BASIS OF BEARINGS: PARCEL MAP NO. 07123.00 "VINEYARD AT MADEIRA" FILED IN BOOK 211 OF PARCEL MAPS, AT PAGE 1, SACRAMENTO COUNTY RECORDS, ESTABLISHED FROM THE FOUND MONUMENTS SHOWN HEREON.</p>	<p><b>FLOOD ZONE</b>                  PROJECT IS LOCATED WITHIN FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 06067C0318H, EFFECTIVE 8/16/2012.</p>



POPPY GROVE APARTMENTS

C I . 0

Elk Grove, CA

Proposed By: Poppy Grove Development Partners, LLC

In Association With:  
 HED (Architects), TSD Engineering, Inc. (Civil)  
 & Wilson Design Studio (Landscape Architecture)



APRIL 5, 2022 - FOURTH SUBMITTAL







**Exhibit C**  
**Poppy Grove Apartments (PLNG21-078)**  
**Conditions of Approval**

<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
<b>ON-GOING</b>				
1.	Development and operation of the proposed Project shall be consistent with the Project Description and Project Plans as provided in Exhibits A and B, incorporated herein by this reference. Deviations from the approved plans shall be reviewed by the City for substantial compliance and may require amendment by the appropriate hearing body.	On-Going	Planning	
2.	This action does not relieve the Applicant of the obligation to comply with all ordinances, statutes, regulations, and procedures.	On-Going	Planning	
3.	The Applicant, or Successors in Interest (hereinafter referred to as the Applicant) shall indemnify, protect, defend, and hold harmless the City, its officers, officials, agents, employees, and volunteers from and against any and all claims, damages, demands, liability, costs, losses or expenses including without limitation court costs, reasonable attorney's fees and expert witness fees arising out of this Project including challenging the validity of this Application/permit or any environmental or other documentation related to approval of this application.	On-Going	Planning	
4.	Except as otherwise specified or provided for in the Project plans or in these conditions, the Project shall conform to the development standards and design requirements adopted by the City of Elk Grove, specifically including but not limited to the following: <ul style="list-style-type: none"> <li>• The Elk Grove Zoning Code (Title 23 of the EGMC)</li> <li>• Laguna Ridge Specific Plan</li> <li>• EGMC Chapter 14.10 (Water Efficient Landscape Requirements)</li> <li>• EGMC Title 16 (Building and Construction)</li> <li>• EGMC Chapter 19.12 (Tree Preservation and Protection)</li> <li>• EGMC Title 22 (Land Development)</li> </ul>	On-Going	Planning	
5.	The Applicant shall design and construct all improvements in accordance with the City of Elk Grove Improvement Standards, as further conditioned herein, and to the satisfaction of the City. Specific locations on median(s) that require emergency vehicle access will be evaluated during review and acceptance of the Improvement Plans.  Public sewer, water, and other utility infrastructure shall be designed and constructed with the standards of the appropriate utility.	On-Going	Engineering SCWA SASD SMUD PG&E	



<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
6.	The Applicant shall pay all plan check fees, impact fees, or other costs as required by the City, the Cosumnes Community Services District (CCSD), Sacramento Area Sewer District (SASD), Sacramento County Water Agency (SCWA), or other agencies or services providers as established by law.	On-Going	Planning Engineering CCSD SCWA SASD	
7.	Approval of this project does not relieve the Applicant from the requirements of subsequent permits and approvals, including but not limited to the following as may be applicable: <ul style="list-style-type: none"> <li>• Grading Permit and Improvement Plan</li> <li>• Building Permit and Certificate of Occupancy</li> <li>• Requirements of the Sacramento Metropolitan Air Quality Management District</li> <li>• Fire Department review for permits and/or occupancy</li> </ul>	On-Going	Planning Engineering Building CCSD SCWA SASD	
8.	The trash enclosures shall be locked when not in use and well maintained at all times.	On-Going	Code Enforcement Planning	
9.	As to any fee, dedication, reservation or exaction established by these conditions of approval that are subject to the Mitigation Fee Act, notice is hereby given pursuant to California Government Code Section 66020(d) that the 90-day period in which you may protest the fees set forth herein has begun to run as of the date of approval of this Project. Other limitations periods may apply. The City reserves all rights.	On-Going	Planning	
10.	If cultural resources or tribal cultural resources are discovered during grading or construction activities on the Project Site, work shall halt immediately within 50 feet of the discovery, the Planning Department shall be notified, and a professional archaeologist meeting the Secretary of the Interior's Professional Qualifications Standards in archaeology shall be retained to determine the significance of the discovery.  If resources are determined to be potentially significant, the City shall require the preparation of a treatment plan and report of findings for cultural and tribal cultural resources. The City and the applicant shall consult and agree to implement all measures the City deems feasible. Such measures may include avoidance, preservation in place, excavation, documentation, curation, data recovery, or other appropriate measures. The Applicant shall be required to implement measures necessary for the protection and documentation of cultural resources.  A note stating the above shall be placed on the Improvement Plans.	On-Going and Prior to Improvement Plans or Grading Permit(s), whichever occurs first.  Monitoring shall be On-Going	Planning	



<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
11.	<p>All construction must stop if any human remains are uncovered, and the County Coroner must be notified according to Section 7050.5 of California's Health and Safety Code. If the remains are determined to be Native American, the procedures outlined in State CEQA Guidelines Section 15064.5 (d) and (e) shall be followed.</p> <p>A note stating the above shall be placed on the Improvement Plans.</p>	<p>On-Going and Prior to Improvement Plans or Grading Permit(s), whichever occurs first.</p> <p>Monitoring shall be On-Going</p>	Planning	
12.	<p>Prior to ground disturbing activities, the Applicant shall provide the City with a construction schedule that will be provided to the Wilton Rancheria (the "Tribe") to ensure the Tribe is afforded the opportunity to monitor the Project during ground disturbing activities. Should the Tribe desire a Tribal Monitor, the Applicant shall enter into an agreement with the Wilton Rancheria to compensate the Tribal Monitor at the Tribe's current adopted rate.</p>	During Ground Disturbance	Planning	
13.	<p>The Applicant shall be responsible for maintaining all CalOSHA and State of California Public Utilities Commission General Order No. 95 safety clearances during construction and upon building completion. If the required clearances cannot be maintained, the Applicant shall be responsible for the cost of relocation.</p>	On-Going	SMUD	
14.	<p>Water supply shall be provided by the Sacramento County Water Agency (SCWA).</p>	On-Going	SCWA	
15.	<p>SMUD reserves the right to use any portion of its easements on the subject property that it reasonably needs and shall not be responsible for any damages to the developed property within said easement that unreasonably interferes with those needs.</p>	On-Going	SMUD	
16.	<p>Full public access for left in/out and right in/out shall be provided and maintained for Poppy Ridge Road and Chester Dawson Way access driveways. Gates shall not be installed at these entrances.</p>	On-Going	CCSD Fire	



<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
<b>PRIOR TO OR IN CONJUNCTION WITH IMPROVEMENT AND/OR GRADING PLAN SUBMITTAL OR APPROVAL</b>				
17.	The Applicant shall comply with, record, and pay the initial deposit of \$10,000 for the Mitigation Monitoring and Reporting Programs (MMRPs) adopted as part of the 2021 Housing Element Update and Laguna Ridge Specific Plan. Until the MMRP deposit has been paid and all MMRPs have been recorded with the County Recorder against the subject property, no grading, building, sewer connection, water connection, or occupancy permit from the City or County will be approved.	Prior to issuance of any plans or permits associated with the Project	Planning	
18.	Construction measures for new the facility and/or on-site work shall be subject to the local requirements for land disturbance. This includes compliance with the Elk Grove Municipal Code and pre-construction surveys from a qualified biologist for nesting raptors and other birds prior to earth moving activities associated with construction. If any evidence of Swainson's hawk is found as a result of the pre-construction surveys, or if it is found that the subject site is suitable foraging habitat, the Applicant shall comply with the mitigation measures set forth in Elk Grove Municipal Code Chapter 16.130.	Prior to Improvement Plans or Grading Permit(s), whichever occurs first.	Planning	
19.	All removals of trees of local importance shall be mitigated as required under EGMC Chapter 19.12 Tree Preservation and Protection.	Improvement Plans or Grading Permit(s), whichever occurs first	Planning	
20.	The Applicant shall prepare and submit a drainage study to the satisfaction of the City and in accordance with City of Elk Grove Storm Drainage Master Plan, Improvement Standards, General Plan, and any other applicable drainage master plans or studies.	Improvement Plans or Grading Permit(s), whichever occurs first	Engineering	
21.	The Applicant shall prepare and submit a Post-Construction Stormwater Quality Control Plan in accordance with the City of Elk Grove Improvement Standards and most recent version of the Stormwater Quality Design Manual for the Sacramento Region. The Applicant shall also submit a separate maintenance manual describing proper maintenance practices for the specific treatment controls to be constructed.	Improvement Plans or Grading Permit(s), whichever occurs first	Engineering	
22.	The Applicant shall include in its drainage study the size and location of the permanent drainage facilities in accordance with the latest version of the City's Storm Drainage Master Plan (SDMP). The facilities shall include, but not be limited to, the meandering low flow channel, flood control channel and adjacent detention basins as identified in the SDMP.	Improvement Plans or Grading Permit(s), whichever occurs first	Engineering	



<b><u>Conditions of Approval</u></b>		<b><u>Timing/ Implementation</u></b>	<b><u>Enforcement/ Monitoring</u></b>	<b><u>Verification (date and Signature)</u></b>
23.	<p>The Applicant may include in its drainage study, a proposal for interim drainage facilities. The study and proposed facilities shall incorporate the following (Timing is Improvement Plans):</p> <p>All interim facilities shall be designed to meet the design standards contained in all policy documents adopted by the City of Elk Grove.</p> <p>Interim drainage facilities shall be easily converted to a connection to the permanent drainage channel. Infrastructure to make a future connection shall be included in the planned facilities.</p>	Improvement Plans or Grading Permit(s), whichever occurs first	Engineering Public Works	
24.	The Applicant shall provide procedures to accommodate Hydromodification requirements. Low Impact Development (LID) features adopted in the Sacramento Region Stormwater Quality Manual (Manual) shall be implemented for the Project. All the designs shall be consistent with the design examples prescribed in the latest edition of the Manual.	Improvement Plans or Grading Permit(s), whichever occurs first	Engineering	
25.	The Applicant shall execute a maintenance agreement with the City for stormwater quality control treatment devices to the satisfaction of the City.	Improvement Plans	Engineering	
26.	All driveways on Bruceville Road, along the Project's frontage shall be limited to right-in/right-out turn movements only.	Improvement Plans	Engineering	
27.	The Applicant shall pay the Laguna Ridge Phase III (LRSP P3) Drainage Impact Fee pursuant to EGMC Chapter 16.95, Development Impact Fees. Fees shall be paid prior to the acceptance of Improvement Plans. The LRSP P3 drainage fee is based on total gross acreage.	Improvement Plans	Engineering	
28.	SASD requires each building on each lot with a sewage source to have a separate connection to the SASD's sewer system. If there is more than one building in any single parcel and the parcel is not proposed for split, then each building on that parcel shall have a separate connection to a private onsite sewer line or a separate connection to the SASD public sewer line.	Improvement Plans	SASD	
29.	To obtain sewer service, construction of SASD sewer infrastructure will be required. Current SASD Standards and Specifications apply to any offsite or onsite public sewer construction or modification. These improvements must be shown on the plans. Field modifications to new or existing precast manhole bases are not allowed.	Improvement Plans	SASD	
30.	Alignment of all main lines and structures must provide a minimum of 1 foot vertical clearance and 5 feet horizontal clearance from all other utilities and improvements. Sewer is to be located a minimum of 10 feet (measured horizontally) from any structure or footing. Show public sanitary sewer and water supply facilities in accordance with the Health and Safety Code.	Improvement Plans	SASD	



<b><u>Conditions of Approval</u></b>		<b><u>Timing/ Implementation</u></b>	<b><u>Enforcement/ Monitoring</u></b>	<b><u>Verification (date and Signature)</u></b>
31.	If the proposed trash enclosure will contain a drain to the sewer, it must be covered.	Improvement Plans	SASD	
32.	SASD Design Standards and Specifications require minimum 6-inch lower laterals for commercial and industrial buildings	Improvement Plans	SASD	
33.	Construction of a grease trap or a sand oil separator may be required. The Applicant must verify with the applicable jurisdiction's building department.	Improvement Plans	SASD	
34.	All water lines shall be located within a public right-of-way or within easements dedicated to SCWA. Easements shall be reviewed and approved by Sacramento County Water Agency.	Improvement Plans	SCWA	
35.	SMUD has existing underground 12kV facilities along Bruceville Road and the eastern parcel boundary that will need to remain. The Applicant shall be responsible for maintaining all CalOSHA and State of California Public Utilities Commission General Order No. 128 safety clearances during construction and upon building completion. If the required clearances cannot be maintained, the Applicant shall be responsible for the cost of relocation	Improvement Plans	SMUD	
36.	Any necessary future SMUD facilities located on the Applicant's property shall require a dedicated SMUD easement. This will be determined prior to SMUD performing work on the Applicant's property	Improvement Plans	SMUD	
37.	SMUD requires the relocation of existing 69kV facilities along Bruceville Road as a result of the Project improvements. SMUD cannot allow existing 69 kV facilities to be located within new roadway median. The existing 69kV facilities are required to be relocated onto Applicant property and within the required SMUD easement width. The Applicant shall coordinate with SMUD regarding the final location of the 69kV facilities.	Improvement Plans	SMUD	
38.	Onsite fire department access routes shall provide a turning radius of 25-feet inside and 50 feet-outside (25 feet wide at and through the turn). Cosumnes Fire Department does not consent to the use of auto turn software.	Improvement Plans	CCSD Fire	



<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
39.	<p>The Applicant shall provide Fire Access Roadway Maintenance Agreement (RMA) between Cosumnes Community Services District and all parcels connected to and served by the fire access roadway. Fire Access Roadway Maintenance Agreement shall be on the form provided by the District and recorded with the Sacramento County Recorder. The roadway maintenance agreement shall include the following:</p> <ul style="list-style-type: none"> <li>• Provisions for the necessary repair and maintenance of the roadway surface</li> <li>• Removal of vegetation overgrowing the roadway and infringing on the roadway clear vertical height of thirteen feet six inches (13'6") or width of twenty feet (20')</li> <li>• Provisions for the maintenance, repair, and/or replacement of NO PARKING-FIRE LANE signage or striping</li> <li>• Provisions for the necessary repair and maintenance of vehicle and pedestrian access gates and opening systems</li> </ul>	Improvement Plans	CCSD Fire	
40.	The Applicant shall execute a maintenance agreement for the driveway on Chester Dawson Way that is located within Lot "E" as shown on the plans to the satisfaction of the City.	Improvement Plans	Engineering	
<b>PRIOR TO OR IN CONJUNCTION WITH FINAL MAP</b>				
41.	The Applicant shall enter into a Covenant Agreement with the City for reciprocal access and parking between Parcels 1, 2, and 3, including but not limited to common area ownership and maintenance to the satisfaction of the City	Final Map	Engineering	
42.	The Applicant shall dedicate to SMUD a 17.5-foot easement for the existing 69 kV facilities along Bruceville Road, adjacent to the 12.5-foot public utility easement for a total of 30 feet.	Final Map or Building Permit, whichever occurs first	SMUD	
43.	The Applicant shall dedicate and provide all-weather vehicular access for service vehicles that are up to 26,000 pounds. At a minimum: (a) the drivable surface shall be 20-feet wide; and (b) all SMUD underground equipment and appurtenances shall be within 15-feet from the drivable surface.	Final Map or Building Permit, whichever occurs first	SMUD	
44.	The Applicant shall dedicate any private drive, ingress and egress easement, (and 10-feet adjacent thereto) as a public utility easement for (overhead and) underground facilities and appurtenances. All access roads shall meet minimum SMUD requirements for access roads.	Final Map	SMUD	



<b><u>Conditions of Approval</u></b>		<b><u>Timing/ Implementation</u></b>	<b><u>Enforcement/ Monitoring</u></b>	<b><u>Verification (date and Signature)</u></b>
45.	Gates across public access driveways shall not be installed.	Final Map/On-Going	CCSD Fire	
46.	The installation of on-site traffic calming devices such as but not limited to speed bumps, humps or other designs are prohibited unless approved by the fire code official.	Improvement Plans/On-Going	CCSD Fire	
47.	As proposed, this project requires an alternate means and methods request (AMMR) to be on file with the fire department. A condition of approval is required for the project to meet the alternate means and methods agreement as approved by the fire department. Any deviation from the approved alternate means and methods request may affect the project as proposed.	Final Map	CCSD Fire	
48.	The Applicant shall dedicate, design and improve the easterly half-section of Bruceville Road, measured 48' from the approved centerline based on a 96' thoroughfare street, including a landscape corridor and a 7' wide detached sidewalk in accordance with the City's Laguna Ridge Specific Plan and the Improvement Standards to the satisfaction of the City. The Applicant shall install appropriate road transitions, including all necessary signing and striping, to the satisfaction of the City. Transitions will be evaluated, and locations determined by the City during Improvement Plan review.	Final Map or Building Permit, whichever occurs first	Engineering	
49.	The Applicant shall restripe Bruceville Road along the Walmart's frontage and south of Chester Dawson Way to the ultimate lane configurations to the satisfaction of the City.	Final Map or Building Permit, whichever occurs first	Engineering	
50.	The Applicant shall dedicate to the City a pedestrian easement within the landscape corridor on Bruceville Road, along the Project's frontage to the satisfaction of the City.	Final Map or Building Permit, whichever occurs first	Engineering	
51.	The Applicant shall dedicate to the City a 12.5' public utility easement for underground facilities and appurtenances adjacent to Bruceville Road and Poppy Ridge Road along the Project's frontage.	Final Map or Building Permit, whichever occurs first	Engineering	
52.	The Applicant shall dedicate, design and construct the southerly half section of Poppy Ridge Road as shown on the plans in accordance with the Laguna Ridge Specific Plan and the City's Improvement Standards to the satisfaction of the City.	Final Map or Building Permit, whichever occurs first	Engineering	



<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
53.	The Applicant shall dedicate to the City a pedestrian easement within the landscape corridor along Poppy Ridge Road, adjacent to the Project's frontage to the satisfaction of the City.	Final Map or Building Permit, whichever occurs first	Engineering	
54.	The Regulatory Agreement for each created parcel shall be recorded concurrently with the Final Map.	Final Map	Engineering	
<b>PRIOR TO OR IN CONJUNCTION WITH BUILDING PERMIT</b>				
55.	The Applicant shall design and install the traffic signal at the Bruceville Road and Poppy Ridge Road intersection as an 8-Phase signal in accordance with City Improvement Standards and to the satisfaction of the City.	Building Permit	Engineering	
56.	The Applicant shall design and install the traffic signal at the Bruceville Road and Chester Dawson Way intersection as an 8-Phase signal in accordance with City Improvement Standards and to the satisfaction of the City.	Building Permit	Engineering	
57.	The Applicant shall design and construct a left-turn pocket on Chester Dawson Way at the Project's driveway, to the satisfaction of the City.	Building Permit	Engineering	
58.	Eligible costs associated with roadways, landscape medians, and traffic signals are subject to reimbursement by the City as set forth in the Elk Grove Roadway Fee Program. To be eligible for reimbursement, the Applicant shall:  1. Enter into an Acquisition and Reimbursement Agreement with the City prior to construction of the improvement; and  2. Comply with all pre- and post-bidding procedures as required by the City's Reimbursement Policies and Procedures for Privately-Constructed Public Facilities and State law.  Not receive reimbursement from any other reimbursement programs.	Building Permit	Engineering	
59.	The Applicant shall reconstruct any damaged curb, gutter, sidewalk and/or pavement caused by construction-related activities associated with the Project site. If pavement replacement is necessary, as determined by the City, the Applicant may be required to grind, overlay, and/or slurry seal the damaged portion(s) in accordance with the City Improvement Standards and to the satisfaction of the City. The Applicant shall schedule an inspection with the City to document the pre-construction condition of existing surface infrastructure adjacent to and near the Project.	Building Permit	Engineering	
60.	The Applicant shall reconstruct any existing ADA compliance improvements adjacent to the Project to meet current standards.	Building Permit	Engineering	



<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
61.	The owner must contact Permit Services Unit at PermitServices@sacsewer.com or by phone at (916) 876-6100 to determine if sewer impact fees are due. Fees are to be paid prior to the issuance of building permits.	Building Permit	SASD	
62.	Separate public water shall be provided to each building.	Building Permit	SCWA	
63.	The Applicant shall destroy any abandoned wells on the proposed project site in accordance with the requirements of the Sacramento County Environmental Health Division. Clearly show all abandoned/destroyed wells on the improvement plans for the project. Prior to abandoning any existing agricultural wells, Applicant shall use water from agricultural wells for grading and construction.	Building Permit	SCWA	
64.	The Applicant shall not place any building foundations within 5-feet of any SMUD trench to maintain adequate trench integrity. The Applicant shall verify specific clearance requirements for other utilities (e.g., Gas, Telephone, etc.).	Building Permit	SMUD	
65.	The Applicant shall comply with SMUD siting requirements (e.g., panel size/location, clearances from SMUD equipment, transformer location, service conductors). Information regarding SMUD siting requirements can be found at:  <a href="https://www.smud.org/en/business/customer-service/support-and-services/design-construction-services.htm">https://www.smud.org/en/business/customer-service/support-and-services/design-construction-services.htm</a>	Building Permit	SMUD	
66.	Projects shall provide onsite fire access to within 150 feet of all portions of the building as measured by an approved route around the exterior of each building.  As proposed, this project does not meet this requirement. Alternate means and methods request (AMMR) required to maintain this design for Buildings 6, 7, and 8.	Building Permit	CCSD Fire	
67.	The Applicant shall provide Fire Access Agreement between Cosumnes Community Services District and all parcels connected to and served by fire access. Fire Access Agreement shall be on the form provided by the district and recorded with the Sacramento County Recorder.	Certificate of Occupancy	CCSD Fire	



<b><u>Conditions of Approval</u></b>		<b><u>Timing/ Implementation</u></b>	<b><u>Enforcement/ Monitoring</u></b>	<b><u>Verification (date and Signature)</u></b>
68.	<p>The Applicant shall comply with the City’s Climate Action Plan (CAP) as follows:</p> <ul style="list-style-type: none"> <li>• Comply with CALGreen Residential Tier 1 energy efficiency standards (BE-4);</li> <li>• At least 10% of the units in the project shall include exclusively electric appliances and HVAC system (BE-6);</li> <li>• 25% of the off-road construction feet used during construction shall include Environmental Protection Agency certified off-road Tier 4 diesel engines (TACM-8); and</li> <li>• Install electric vehicle (EV) charging stations (2.5% of parking spaces provided) and “EV Ready” parking stalls (2.5% of parking spaces) (TACM-9).</li> </ul>	Building Permit	Planning	



**CERTIFICATION**  
**ELK GROVE CITY COUNCIL RESOLUTION NO. 2022-106**

STATE OF CALIFORNIA        )  
COUNTY OF SACRAMENTO    )        ss  
CITY OF ELK GROVE         )

*I, Jason Lindgren, City Clerk of the City of Elk Grove, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the City Council of the City of Elk Grove at a regular meeting of said Council held on May 11, 2022 by the following vote:*

**AYES:**           **COUNCILMEMBERS:** *Singh-Allen, Suen, Hume, Spease, Nguyen*

**NOES:**           **COUNCILMEMBERS:** *None*

**ABSTAIN:**       **COUNCILMEMBERS:** *None*

**ABSENT:**       **COUNCILMEMBERS:** *None*

  
\_\_\_\_\_  
**Jason Lindgren, City Clerk**  
**City of Elk Grove, California**