

ORDINANCE NO. 29-2005

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ELK GROVE REPEALING ORDINANCES SZC 85-23, SZC 89-0022, SZC 91-0063, SZC 94-0046, AND SZC 97-0010, AND ADOPTING THE ELK GROVE OLD TOWN SPECIAL PLANNING AREA DESIGN STANDARDS AND GUIDELINES

WHEREAS, the original Old Town Special Planning Area ("Old Town SPA") was adopted by Sacramento County in 1985, and although subsequently updated in 1989, 1991, 1994, and 1997, the Special Planning Area requires substantial amendment in order to preserve Old Town's vibrant past and prepare for its continued productive use; and,

WHEREAS, in consideration of modifying the Old Town SPA, the City conducted extensive public outreach and review efforts including four community meetings dated October 5, 2004, November 9, 2004, December 7, 2004, April 20, 2005, and July 14, 2005 regarding the needs of the community and the content of the new SPA; and,

WHEREAS, this Ordinance was reviewed by the City's Planning Commission at a duly noticed public hearing on May 19, 2005, after which the Planning Commission voted to recommend adoption of this Ordinance to the City Council; and,

WHEREAS, the City Council has reviewed this Ordinance at a duly noticed public hearing on June 22, 2005 and July 27, 2005; and,

WHEREAS, this ordinance shall be subject to a future General Plan amendment for this project; and,

WHEREAS, on July 27, 2005, the City Council adopted a Negative Declaration for the project.

The City Council of the City of Elk Grove does ordain as follows:

Section 1: Purpose and Authority

The purpose of this Ordinance is to update the Elk Grove Old Town Special Planning Area based on the revised Old Town SPA Design Standards and Guidelines in Exhibit "A", including the specific rezonings detailed in Exhibit "B", and subject to some of the recommended changes made by the Planning Commission during their public hearing of May 19, 2005 and additional changes made by the City Council during their public hearing of July 27, 2005.

Section 2: Findings

CEQA

Finding: The proposal will not have a significant adverse impact on the environment and a Negative Declaration has been prepared and completed in accordance with the California Environmental Quality Act (CEQA).

Evidence: An Initial Environmental Study was prepared for the proposed project. On the basis of the Negative Declaration, comments received, and the whole record, there is no substantial evidence that the project will have a significant adverse impact on the environment.

General Plan

Findings: The project is consistent with the goals and policies of the Elk Grove General Plan.

Evidence: The update of the Old Town Elk Grove SPA is mandated by the City's General Plan in Policy HR-5-Action 2.

Rezone

Finding: The proposed SPA update is in the public interest. (Section 65358(a) of the Government Code and the Plan Administration Element of the Elk Grove General Plan).

Evidence: The Planning Commission has reviewed the proposed SPA update and staff report, and has received public testimony at a duly noticed public hearing regarding the matter. The proposed project is consistent with the Plan's objectives of orderly and systematic development and responds to opportunities and constraints in the local community area.

Section 3: Action

Subject to approval of a future General Plan amendment, the City Council hereby adopts the Old Town Special Planning Area Design Standards and Guidelines attached hereto and incorporated herein by reference as Exhibit A, the specific rezonings detailed in Exhibit B, and some of the changes recommended by the Planning Commission during their public hearing of May 19, 2005 in addition to changes made by the City Council on July 27, 2005, as included in Exhibit A.

Section 4: No Mandatory Duty of Care.

This ordinance is not intended to and shall not be construed or given effect in a manner that imposes upon the City or any officer or employee thereof a mandatory duty of care towards persons and property within or without the City, so as to provide a basis of civil liability for damages, except as otherwise imposed by law.

Section 5: Severability.

If any provision of this ordinance or the application thereof to any person or circumstances is held invalid, such invalidity shall not affect other provisions or applications of the ordinance which can be given effect without the invalid provision or application, and to this end the provisions of this ordinance are severable. This City Council hereby declares that it would have adopted this ordinance irrespective of the invalidity of any particular portion thereof and intends that the invalid portions should be severed and the balance of the ordinance be enforced.

Section 6: Effective Date and Publication

This Ordinance shall take effect thirty (30) days after its adoption. In lieu of publication of the full text of the ordinance within 15 days after its passage, a summary of the ordinance may be published at least five days prior to and fifteen (15) days after adoption by the City Council and a certified copy shall be posted in the office of the City Clerk, pursuant to GC 36933(c)(1).

PASSED AND ADOPTED by the City Council of the City of Elk Grove this 10th day of August 2005.



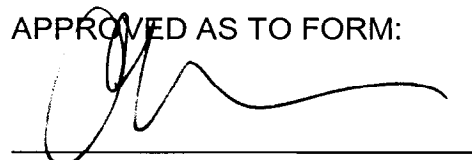
DANIEL BRIGGS, MAYOR of the
CITY OF ELK GROVE

ATTEST:



PEGGY E. JACKSON, CITY CLERK

APPROVED AS TO FORM:



ANTHONY B. MANZANETTI,
CITY ATTORNEY

Effective Date: September 10, 2005

Ayes: Scherman, Soares, Briggs, Cooper Leary
Noes: 0
Abstain: 0
Absent: 0

**Exhibit B to Ordinance
List of Specific Rezonings**

APN	Acres	Existing Use	Existing Zoning	Existing GP	Proposed Zoning	Proposed GP
1250141017	1.40	Schools Financial Credit Union	SPA - Com	Com	Limited Com	Com
1250141029	0.26	Share Homes Adoption & Foster Care	SPA - Com	Com	Limited Com	Com
1250141030	0.20	Rhodes Retail Services, Inc.	SPA - Com	Com	Limited Com	Com
1250141031	0.22	Custom Picture Framing, Interiors	SPA - Com	Com	Limited Com	Com
1250151035	0.58	Montessori Country Academy	SPA - Com	Com	Limited Com	Com
1250151036	1.15	Plantation Coffee	SPA - Com	Com	Limited Com	Com
1250221006	0.27	SFR	RD-5	LDR	Res	LDR
1250221008	0.30	SFR	RD-5	LDR	Res	LDR
1250221009	0.29	SFR	RD-5	LDR	Res	LDR
1250221010	0.30	Parking lot	RD-5	LDR	Res	LDR
1250221011	0.12	SFR	RD-5	LDR	Res	LDR
1250221012	0.18	SFR	RD-5	LDR	Res	LDR
1250222007	0.33	SFR	RD-5	LDR	Res	LDR
1250222008	0.18	SFR	RD-5	LDR	Res	LDR
1250222009	0.15	SFR	RD-5	LDR	Res	LDR
1250222010	0.15	SFR	RD-5	LDR	Res	LDR
1250222012	0.30	SFR	RD-5	LDR	Res	LDR
1250222013	0.15	SFR	RD-5	LDR	Res	LDR
1250222014	0.29	SFR	RD-20	LDR	Res	LDR
1250222015	0.15	SFR	RD-5	LDR	Res	LDR
1250225001	0.54	SFR	RD-5	LDR	Res	LDR
1250243011	0.28	SFR	Com/Res	LDR	Com	Com
1250243012	0.22	Computer Adventure	Com/Res	LDR	Com	Com
1250243013	0.19	Americana Realty	Com/Res	LDR	Com	Com
1250243014	0.28	Law Offices and Home Furnishings	Com/Res	LDR	Com	Com
1250243015	0.19	Salinger Van Dyke Attorneys at Law	Com/Res	LDR	Com	Com
1250243016	0.44	Old Towne Offices	Com/Res	LDR	Com	Com
1250243017	0.25	MFR - Multi-family (quadraplex)	Com/Res	LDR	Com	Com
1250243018	0.28	Offices (Rose's Engineering)	Com/Res	LDR	Com	Com
1250243019	0.29	Evangelin Miller Attorney at Law	Com/Res	LDR	Com	Com
1250243023	0.83	Railroad - Rock/Bark etc. sales	RR	LI	Com	Com
1250243039	0.43	Parking lot	Com/Res	LDR	Com	Com
1250252009	0.32	Dentistry, Justin L. Reich, D.D.S.	Com/Res	LDR	Com	Com
1250252010	0.32	Century 21 Office	Com/Res	LDR	Com	Com
1250252011	0.15	Grange Building	Com/Res	LDR	Com	Com
1250252015	0.73	Elk Grove Funeral Chapel	Com/Res	LDR	Com	Com
1250253014	0.01	Railroad Only	RR	P/QP	Public	P/QP
1250253041	0.29	SFR	RD-5	LDR	Res	LDR
1250253042	0.26	SFR	RD-5	LDR	Res	LDR
1250253044	0.33	SFR	RD-5	LDR	Res	LDR
1250270015	0.45	MFR - Apartments (unnamed)	Res	HDR	MFR	HDR
1250270016	0.24	MFR - Old Town Garden Apartments	Com/Res	LDR	Com	Com
1250270017	0.25	Wharton and Winter Injury Lawyers	Com/Res	LDR	Com	Com
1250270018	0.25	Farmers Insurance Group	Com/Res	LDR	Com	Com
1250270019	0.25	Global K Mortgage Offices	Com/Res	LDR	Com	Com
1250270020	0.26	Windmill Consulting	Com/Res	LDR	Com	Com
1250270021	0.25	SFR	Com/Res	LDR	Com	Com
1250270051	0.83	MFR - Ashley Apartments	Res	HDR	MFR	HDR
1250270061	1.91	MFR - Kent Place Apartments	Res	HDR	MFR	HDR
1250261009	0.41	SFR	RD-5	LDR	Res	LDR
1270170050	1.08	SFR	Res	LDR	Com	Com
1270200015	5.00	Railroad Only	RR	P/QP	RD-2	P/QP
1340010028	0.01	Railroad plus vacant area	M-1	P/QP	Public & Com	P/QP & Com
1340010064	0.03	Railroad plus vacant area	RR & M-1	P/QP & LI	Public & Com	P/QP & Com
1340050001	2.73	SFR	Res	LDR	Com	Com
1340071001	0.79	MFR - Kent Place Apartments	Res	HDR	MFR	HDR
1340071002	0.33	SFR	Res	LDR	Com	Com
1340071003	0.03	Undeveloped	Res	LDR	Com	Com
1340071004	0.38	Undeveloped	Res	LDR	Com	Com
1340071005	0.21	SFR	Res	LDR	Com	Com
1340071006	0.21	SFR	Res	LDR	Com	Com
1340071007	0.86	Ultra Truck Works	Res	Com	Com	Com
1340072011	1.23	SFR	Res	LDR	Com	Com
1340072012	0.31	SFR	Res	LDR	Com	Com
1340072019	2.32	MFR - Oak Grove Apartments	Res	HDR	MFR	HDR

The City of Elk Grove staff gratefully acknowledges the significant contributions made by both the citizens of Elk Grove and Carter Burgess in the creation of the original Special Planning Area and the Conceptual Master Plan. Both documents provide the foundation for this updated Special Planning Area.

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SECTION I – PROCESSING

A. ADOPTION OF DESIGN STANDARDS AND GUIDELINES

By adoption of Ordinance No. 29-2005 on August 10, 2005, which added §506-40 to the Elk Grove Zoning Code, the City Council of the City of Elk Grove has adopted the Old Town Special Planning Area Design Standards and Guidelines.

B. PURPOSE AND INTENT

The purpose of the Elk Grove Old Town SPA is as follows:

1. Establishes a design review process which:
 - a. Preserves the historical and cultural integrity of Old Town by guiding the architectural style of new development and the redevelopment of existing structures;
 - b. Encourages high quality land planning and architecture;
 - c. Encourages development in keeping with the desired character of the City; and
 - d. Ensures that proper attention is paid to site and architectural design, thereby fostering an environment that encourages stable growth in land values.

2. Establishes a map of permitted land uses which:
 - a. Enhances Elk Grove Old Town's sense of community;
 - b. Unifies Old Town's Main Street, Elk Grove Boulevard, by focusing on pedestrian oriented uses such as retail, restaurant, office, and services; and
 - c. Ensures physical, visual, and functional compatibility between uses.

The intent of the Elk Grove Old Town SPA's design review process is to establish discretionary review of development projects within the SPA boundaries to ensure conformance not only with the minimum standards set forth in the Zoning Code, but also with the goals, guidelines and examples provided in the Old Town SPA.

C. APPLICATION PROCESSING AND FEES

Design review is required for the four types of applications listed below. The application and processing fee varies for each type of design review. The application and processing fees are established by resolution of the City Council and do not exceed the reasonable cost of the City to provide the service required.

	Site Design	Architectural Design	Application Fee
Type 1			
• Landscaping and replacement of plant material	X		Established by Council Resolution
• Concrete flatwork or other paving	X		
• Change of copy or face on an existing sign	X		
• Repainting ¹		X	
• The installation of new fences, walls, or planters at least 24 inches in height	X	X	

	Site Design	Architectural Design	Application Fee
Type 2			
• New building mounted or freestanding signs	X		
• Alterations that change the exterior appearance (doors, windows, exterior finishes, lighting, etc.)	X	X	
• New buildings or non-residential additions ≤ 500 sq. ft. in size	X	X	Established by Council Resolution
Type 3			
• New buildings or non-residential additions of 501 to 2,000 sq. ft.	X	X	
Type 4			
• New buildings or additions > 2,000 sq. ft.	X	X	

Notes:

1. If a building is repainted the exact same color, including the hue, value (shades and tints), saturation, and gloss, it is not subject to review pursuant to the SPA.

D. DEFINITIONS

1. Design Guideline – A design guideline is a non-mandatory design feature encouraged by the City. The text of guidelines is characterized by the words “should” or “encourage”. The policy of the City of Elk Grove is that design guidelines must be met, unless doing so would impede good design as defined by the SPA.
2. Design Standard – A design standard is a mandatory design feature required by the City. The text of standards is characterized by the words “shall” or “must”.
3. Mural – A design or representation that is painted or drawn on the exterior surface of a structure and which does not advertise a business, product, service, or activity.
4. SPA Land Use Plan – The Land Use Plan is provided in Figure 2 of the SPA Design Guidelines.
5. SPA Permitted Use Table – The Permitted Use Table is provided in Table 1 of the SPA Design Guidelines.
6. SPA Design Standards and Guidelines – The Design Standards and Guidelines are provided in Sections IV and V of the “Elk Grove Old Town Special Planning Area”. A full and complete copy of the Old Town SPA is available for review at the City Planning Department.

E. PERMITTED USES AND DEVELOPMENT STANDARDS

The land use zones, permitted uses, and design standards and guidelines applicable to all properties within the boundaries of the Old Town Special Planning Area are set forth herein. The land use zones are depicted in Figure 2. The permitted uses are provided in the SPA Permitted Use Table. All use, development, construction, rehabilitation, modification and other such actions on real property, buildings and/or structures located within the Land Use Zones depicted in Figure 2 of the Old Town SPA shall comply with the provisions and processes of the Old Town SPA.

F. **RESTRICTED COMMERCIAL**

All existing uses within the Old Town SPA that were operating legally prior to the adoption of this SPA update but are no longer a permitted or conditionally permitted use shall be classified as "Restricted Commercial" (RC). The following conditions apply to RC uses:

- Use may continue to be operated in perpetuity as the same use.
- The permitted RC use is the exact same use as the existing use on the date of the adoption of this document. For example, a muffler shop may not necessarily be allowed to convert to an emissions testing facility. If such a change in use is proposed, it is subject to Planning Commission approval.
- Owners may sell, deed, or give the business to another person or group.
- The business may continue in the same building with the same square footage and use. Use may not be enlarged, expanded, or extended (square footage of business).
- If property is damaged or destroyed, the building may be reconstructed to the same square footage prior to the incident and the same use continued.
- Hours of operation of RC uses are 7:00 A.M. to 7:00 P.M. Gas stations may operate after these hours for gas and retail sales only (no auto service). Other RC uses may continue to perform office work after these hours, but they cannot see customers or perform the non-permitted service (auto repair, sawmill, etc) after hours, even if the building is closed.
- If such a use is discontinued for a period of six (6) months, the RC classification no longer valid and the use shall not thereafter be re-established.
- The RC classification does not apply to uses that were operating illegally prior to and after the adoption of this SPA. Illegal uses shall be discontinued.

G. **DEVELOPMENT APPLICATIONS IN PROCESS**

Following the effective date of Ordinance No. ___ adopting the Old Town Special Planning Area Design Standards and Guidelines, or any subsequent amendments, all pending applications in process are, unless expressly exempt under State law or ordinance of the City, subject to the standards, processes, and guidelines provided herein. Applications are no longer pending once the appeal period has expired or the appeal process is fully exercised.

H. **DESIGN REVIEW EXEMPTIONS**

The following structures are exempt from Design Review. However, such structures may require additional permits, such as a ministerial building permit to ensure compliance with adopted Building Code standards and applicable Zoning Code provisions.

1. New single-family residential homes;
2. Additions to single-family residential homes;

3. Interior alterations that do not increase the gross floor area within the structure, or change/expand the permitted use of the structure; and
4. Construction, alteration, or maintenance by a public utility or public agency of underground utilities intended to service existing or nearby approved developments (e.g., water, gas, electric or telecommunication supply or disposal systems, including wires, mains, drains, sewers, pipes, conduits, cables, fire-alarm boxes, police call boxes, traffic signals, hydrants, and similar facilities and equipment).

I. **DESIGN REVIEW AUTHORITY**

The Planning Director shall be the approving authority for Type 1 and Type 2 design review applications. The Planning Commission shall be the approving authority for Type 3 and Type 4 design review applications. The Approving Authority shall approve, conditionally approve, or deny the proposed Design Review application in accordance with the requirements of the Old Town SPA. Design Review approval is required prior to issuance of any ministerial building permits or site improvement plans and prior to or in conjunction with discretionary action of corresponding development applications (e.g., Conditional Use Permit, Variance).

J. **DESIGN REVIEW PROCESS**

1. Application Submittal. Design Review applications shall be submitted to the Planning Department on a City application form, together with all fees, plans, maps, color elevations, and any other information, materials, studies and documents in the City's application submittal requirements.
2. Application Review. In accordance with the Permit Streamlining Act (California Government Code Section 65943), within 30 days of application submittal, the Planning Director shall determine whether or not the application is complete. In order to expedite the process for administrative Design Review applications, the Planning Director shall make a reasonable effort processing the completeness determination within five (5) days of submittal for Type 1 and Type 2 applications.

For Type 1, 2, 3, and 4 applications, the applicant shall be notified in writing of the determination. Once complete, the Planning Staff shall distribute complete application materials to appropriate departments and agencies for review and comment, including the designated representatives of the Old Town Merchants and the Elk Grove Historical Society. Planning Staff shall be responsible for requesting feedback and incorporating comments into project modifications or conditions of approval to ensure conformance with applicable provisions of the Municipal Code and the Elk Grove Old Town SPA design provisions.

3. Environmental Review. The project shall be reviewed in accordance with the environmental review procedures of the California Environmental Quality Act (CEQA).
4. Notice and Hearing/Determination. Public notice and hearings shall be conducted as follows:

	Notice Requirements	Other Requirements
Type 1	Public notice shall be mailed to the applicant and property owners of sites directly abutting the subject parcel(s) no less than seven (7) days prior to the scheduled date	The notice shall identify the subject parcel, describe the request, and identify the date of Planning Director determination on the administrative Design

	of determination.	Review application. The notice shall also identify the opportunity to provide input prior to the determination and the right to appeal the determination in accordance with this title. The Planning Director shall create a written record of action to approve, conditionally approve, or deny the administrative Design Review application. This record of action shall be mailed to the applicant within three (3) days from the date of action.
Type 2	Public notice shall be mailed to the applicant and property owners of sites within 500-feet of the subject parcel(s) no less than fourteen (14) days prior to the scheduled date of determination.	
Types 3 and 4	For Design Review applications decided by the Planning Commission, public notice and hearings shall be conducted in accordance with Zoning Code Title 1, Chapter 10 Article 1 (Permits Generally)	NA.

5. Appeals. Any person dissatisfied with an action of the Planning Director or Planning Commission may appeal such action to the next highest Approving Authority, within ten days from the date of the action. Actions of the Planning Director are appealed to the Planning Commission and actions of the Planning Commission are appealed to the City Council for final action. Appeals shall be conducted in accordance with Zoning Code Title 1, Chapter 15, Article 3 (Appeals).

K. DESIGN REVIEW DETERMINATION

1. Findings for All Design Review Applications. Design Review applications shall be granted only when the designated Approving Authority makes all of the following findings:
 - a. The proposed project is compatible with the historical character of the community;
 - b. The proposed project is consistent with the objectives of the General Plan, the Zoning Code, and the Elk Grove Old Town Special Planning Area Design Standards and Guidelines;
 - c. The proposed architecture, site design, and landscaping are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and community;
 - d. The architecture, the character, scale and quality of the design, the relationship with the site and other buildings, building materials, colors, the screening of exterior appurtenances, exterior lighting and signing, and similar elements establish a clear design concept and are compatible with the character of buildings on adjoining and nearby properties; and
 - e. The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.
2. Conditions. The designated Approving Authority may modify plans in whole or in part and may condition the Design Review application to ensure specific design features,

construction materials, and conformance with all applicable provisions of the Old Town Special Planning Area Design Standards and Guidelines.

3. Permit Issuance. Design Review authorization shall only become valid upon completion of the designated ten-day appeal period.
4. Permit Term. Design Review approval shall be valid for a period of three years from the date of final approval unless exercised for the purpose for which it was granted.

L. **ASSESSMENT REPORT TO COUNCIL**

Beginning three years after the date of the Council's adoption of the updated SPA, the Planning Department shall provide a triennial report to the City Council which summarizes development activity in the SPA and which identifies possible updates required in the SPA to respond to changing conditions.

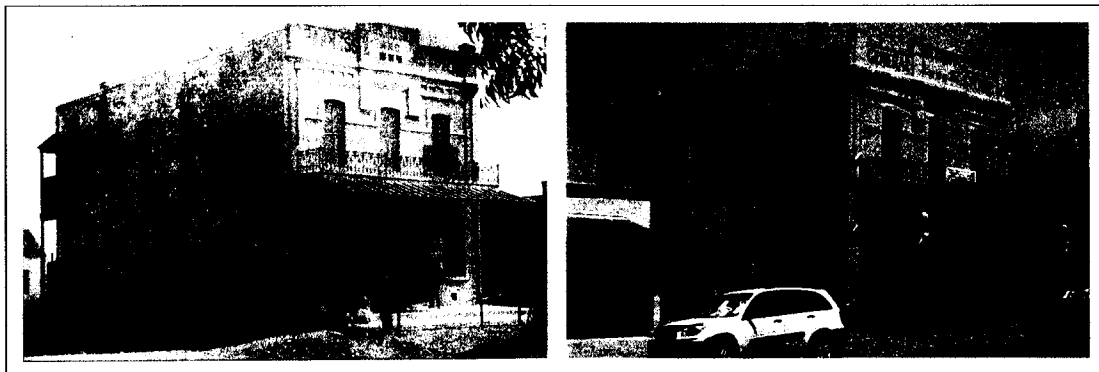
SECTION II – BACKGROUND

The Old Town Elk Grove Special Planning Area (SPA) includes the Elk Grove Boulevard corridor from Elk Grove-Florin Road on the west to Waterman Road on the east. Old Town is the cornerstone of modern Elk Grove. The *Conceptual Master Plan*, prepared by Carter Burgess in 1999, summarized Old Town's past as follows:

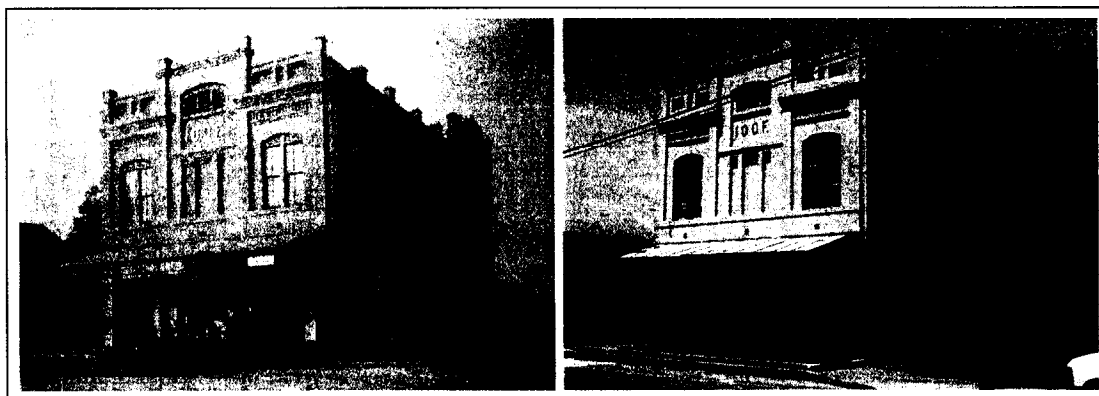
Elk Grove is one of the oldest western settlements in the greater Sacramento region. Established in 1850 the town of Elk Grove was established as an agricultural crossroads. The original town was settled at the crossroads of Elk Grove Boulevard and what is today known as Highway 99. Elk Grove Boulevard has been the lifeblood of the community ever since. Upon arrival of the railroad, the Elk Grove station shifted the town center from what is now Highway 99 to its present location. The railroad is thus the hub for the Old Town area. The majority of the historic buildings within Elk Grove are located within walking distance of the railroad crossing of Elk Grove Boulevard. This is considered to be the core area of the community.

The Old Town of today is rooted in the past, as shown by the various historic buildings in Figure 1 that are still in productive use today. In a desire to preserve and strengthen Old Town's vibrant past, the community's efforts resulted in multiple parcels near the intersection of Elk Grove Boulevard and the railroad tracks to be entered in the National Register of Historic Places in 1988. These sites include 8986 through 9097 Elk Grove Boulevard, plus additional properties on School, Gage, and Grove Streets.

Figure 1 – Old Town Elk Grove: Past and Present



Elk Grove Brewery



IOOF Building

**Old Town SPA
ADOPTED AUGUST 10, 2005**

Figure 1 – Old Town Elk Grove: Past and Present (continued)



Mercantile Building



Bob's Bar

SOURCE: Historic Photos from Elk Grove Historic Society

The community's ongoing efforts to enhance Old Town resulted in the adoption of the original SPA by Sacramento County in 1985, with subsequent amendments in 1989, 1991, 1994, and 1997. The Old Town Conceptual Master Plan was prepared by Carter Burgess, with in depth participation from the community, in December 1999. The following document is the City of Elk Grove's first update to the Old Town SPA, and is based on the 1999 *Conceptual Master Plan*, as well as input received during four community meetings held in October 2004, November 2004, December 2004, and April 2005.

SECTION III – LAND USE

Section III establishes the permitted land uses in the Special Planning Area (SPA). Figure 2 illustrates the location of the Single Family Residential (dot shading), Multi-Family Residential (cross-hatch shading), and Commercial (solid shading) land use zones. Table 1 details the specific uses permitted in each of these zones.

Figure 2 – Land Use Zones

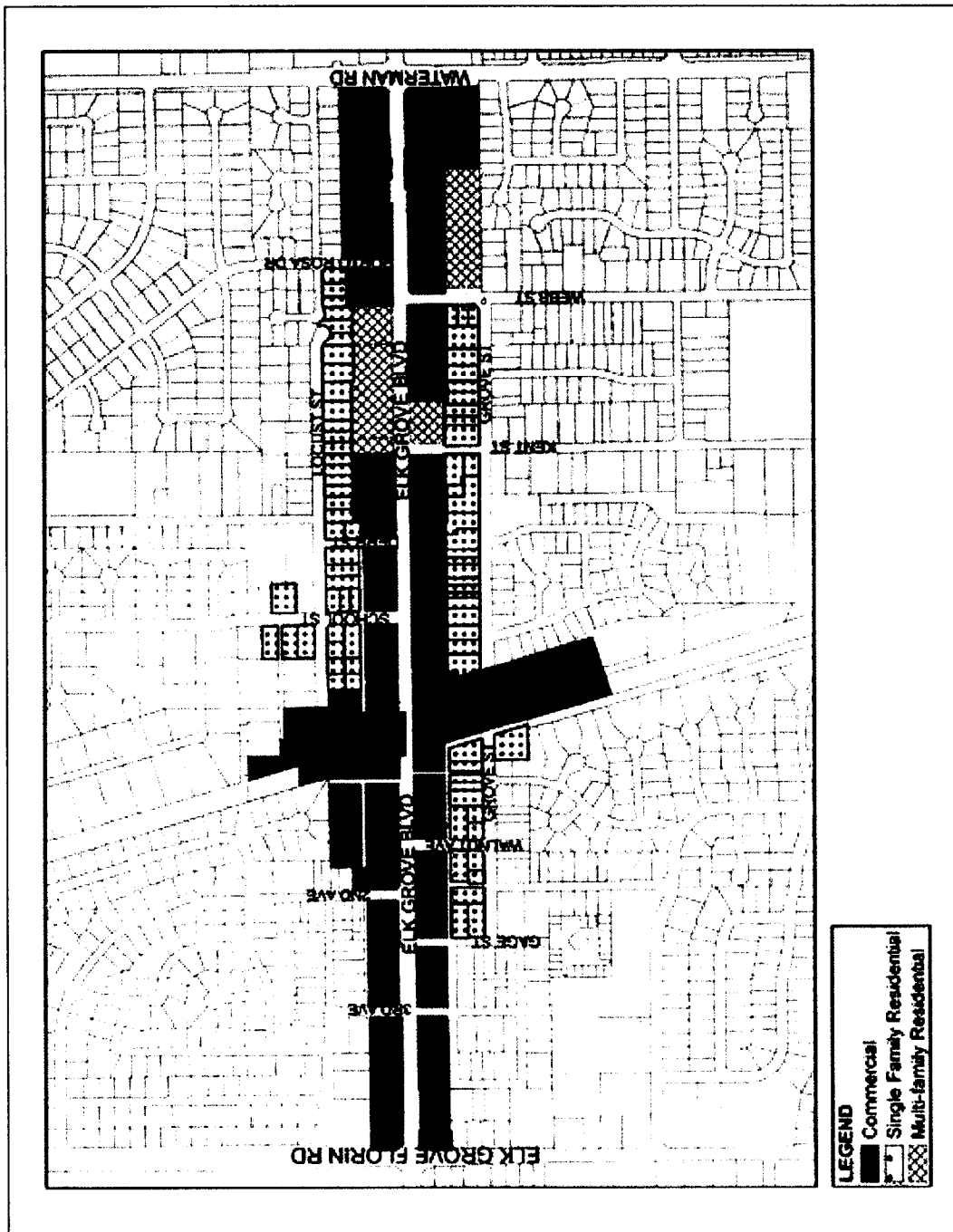


Table 1 – Permitted Uses in the SPA

	Single Family Residential	Multi-Family Residential	Commercial ⁷
1. Single Family and Duplexes (≤ 6 units / acre)	P ¹		
2. Multi-Family – Single Use		P	
3. Multi-Family – Mixed Use (as 2nd or 3rd Floor Residential)			P ²
4. Home Occupation	P ³		
5. Residential Care Home	P ³		
6. Commercial – General Retail Including antique, apparel, appliance, book and stationery, camera, camping equipment, department, fabric, furniture, gift shop, luggage and leather goods, paint, pet, nursery, music, stereo (no installation), secondhand, shoe, sporting goods, variety/merchandise.			P ^{4, 5}
7. Commercial – Personal Services Including repair of appliances or household items, athletic club, banks, barber shop, beauty shop, bicycle shop, dry cleaners, printing, photographic studio, shoe repair, tailor shop, travel agency.			P ⁵
8. Commercial – Convenience Including bakery, candy, delicatessen, drug store, florist, grocery store, hardware, hobby and crafts, restaurants, coffee shops.			P ⁵
9. Commercial – Entertainment / Cultural Including art galleries, museums, theaters.			P ⁶
10. Commercial – Offices Including both general and medical office.			P

Conditions

1. May include accessory uses and structures subject to the development standards in the Zoning Code.
2. Buildings used for 2nd or 3rd floor residential must be used for pedestrian oriented commercial uses on the ground floor (i.e. retail, restaurant, or office). The permitted density of 2nd or 3rd floor residential shall not exceed 30 units per acre, and shall be dependent on compliance with development standards. Please refer to Figure 3 for an example project from Orenco Station, Oregon.
3. Subject to the development standards in the Zoning Code for such uses.
4. Sale of animals is not permitted if the proposed site shares a common wall with an adjoining use.
5. Drive throughs are expressly prohibited.

6. Subject to General Plan noise restrictions.
7. Determination of Use Not Listed.

Where a use is not specifically listed in Table 1 – Permitted Uses in the SPA – Commercial Zone as a permitted or conditionally permitted use within the zone, the Planning Director shall determine whether the use is sufficiently similar to a listed use such that the use may be processed and approved as provided for in the Old Town SPA or that it is not sufficiently similar and would require an amendment of the Old Town Special Planning Area Design Standards and Guidelines to permit the use.

In making the determination, the Planning Director shall base it upon a consideration of the following factors:

- a. The extent to which the proposed use would meet the objectives and goals of the Old Town SPA to encourage pedestrian oriented retail, restaurant, and office uses; and,
- b. The extent to which the proposed use would be compatible with the uses currently permitted in the Commercial Zone under Table 1; and,
- c. The ability of the City to condition the operation of such uses to adequately mitigate any potential inconsistencies with the objectives and goals of the Old Town SPA and operation of uses currently permitted in the Commercial Zone under Table 1; and,
- d. Whether the proposed use is a new industrial use or an automotive repair or servicing use. Such uses are expressly not permitted in the Commercial Zone.

If, based on consideration of the above-referenced factors, the Planning Director determines that the use is sufficiently similar to a listed use, then the use shall be considered to be included within the category of the use listed. A written record of the Planning Director's decision shall be kept on file with the Planning Department.

Figure 3 – Example of Townhouse Development in Orenco Station, Oregon



Source: <http://www.orencostation.com/home.htm>

SECTION IV – SITE DESIGN GUIDELINES

This section provides site design guidelines which apply to the privately owned land outside of the public right-of-way. They focus on site related issues, versus architectural design, which is addressed in Section V. Site design guidelines are provided under ten subheadings, including setbacks, landscaping, hardscaping, parking, signs, access, compatibility, outdoor café seating, outdoor retail sales, and outdoor performance venues.

A. SETBACKS

1. Goal

The pedestrian environment in Old Town is defined in large measure by the distance between the facades of buildings on each side of the street. The goal of the setback standards in Table 2 is to require new development in the SPA to continue the scale of the pedestrian environment established in Historic Old Town (see Figure 21) through comparable setbacks.

2. Standards

New development shall comply with the setbacks in Table 2.

Table 2 – Old Town SPA Building Setbacks

	Non-residential	Single Family & Duplex Residential
Front yard	≤ 7.5 ^A	Average of buildings on each side
Side yard – interior		
a. Historic Old Town	0 ^{B, C}	5
b. West & East Old Town	≤ 12 feet between buildings ^{B, C}	5
Side yard – street side	≤ 7.5 ^D	12.5
Rear yard	Average of buildings on each side	

A. The front yard setback is equal to the distance between the back of the public right-of-way and the front face of the building wall or columns supporting a roof. Within the range of ≤ 7.5 feet, the front yard setback for individual projects shall result in a continuation of the streetwall to the maximum extent feasible.

B. Pedestrian alleys are encouraged between Elk Grove Boulevard and off-street parking located behind buildings and may not exceed a width of 12 feet, unless a larger width is required by a public utility (such as CSD-1 or Water Resources) to provide service to the site. Exceptions for vehicle alleys on Elk Grove Boulevard may be permitted if needed for access to off-street parking located behind buildings as approved by Public Works. Both pedestrian and vehicle alleys shall be on private property with an easement granted to the City.

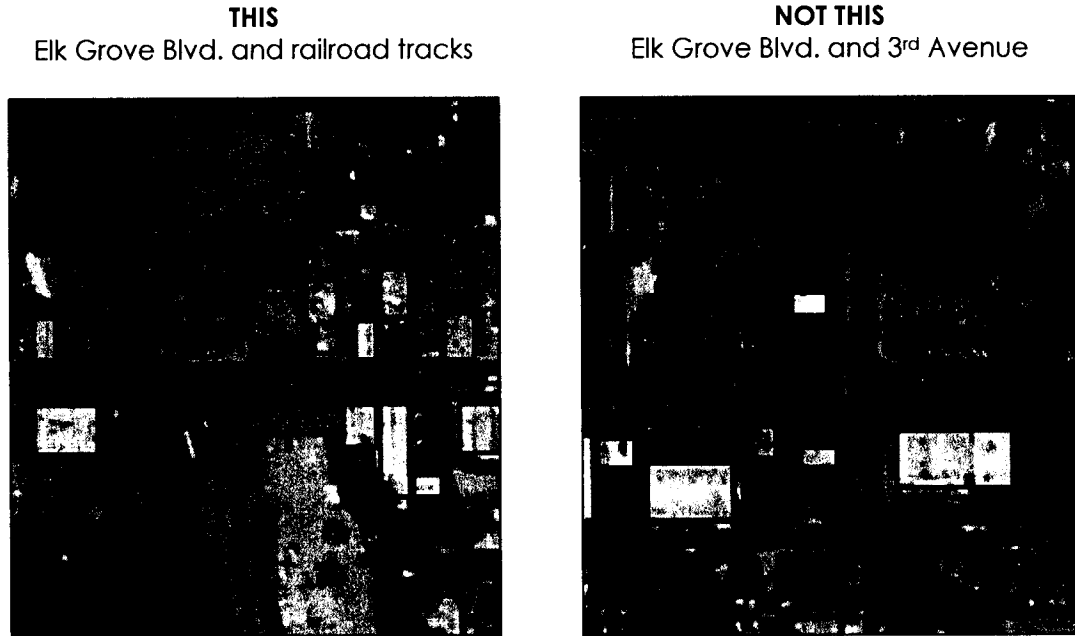
C. Interior side yard setbacks are intended to reinforce historic development patterns. All new development must also comply with all applicable Building, Fire, and related codes in the design of structures.

D. All projects must provide the minimum visibility easement as defined by the Elk Grove Improvement Standards.

3. **Example**

The above setback standards intentionally reinforce the pedestrian environment found in Historic Old Town. The photo on the left side of Figure 4 shows the intersection of Elk Grove Boulevard and the railroad tracks. The photo on the right side shows the intersection of Elk Grove Boulevard and 3rd Avenue. The solid lines are the approximate location of the road. The rectangles are the buildings. Figure 4 shows that Historic Old Town has a much more consistent streetwall with setbacks that require the building to be sited very close to the sidewalk.

Figure 4 – Setback Examples



B. **LANDSCAPING**

1. **Goal**

This section applies to plantings required on private property, outside of the public right-of-way. The SPA does not set landscaping standards for parcels both zoned and used as single family residences or duplexes, but focuses instead on non-residential parcels. The SPA does set landscaping standards for buildings originally used as residences but subsequently converted to non-residential purposes. Landscape designs on private property should seek to provide a unifying design element, to meld into adjacent neighborhoods and existing developments, to strengthen pedestrian circulation, to enhance building entrances, to provide seasonal color, to provide shade appropriate to climatic conditions, to screen unsightly objects and unattractive views from the corridor, to buffer parking lots from the view of the corridor, and to be maximized and balanced throughout the corridor.

2. **Standards**

- a. Unless otherwise preempted by the Old Town SPA setback standards, the quantity and location of landscaping for new non-residential projects shall be consistent with the requirements in the City's Zoning Code and Design Guidelines. For example, new non-residential projects on Elk Grove Boulevard have a permissible front yard setback of 0 feet (minimum) to 7.5 feet (maximum) from the back of the public right-of-way, and therefore require less landscaping than otherwise mandated by the Zoning Code.
- b. The type of landscaping for new non-residential projects shall be consistent with Tables 3 and 4.
- c. New restaurants proposing outdoor dining shall be required to provide landscaping as defined above. However, reductions to the landscape standards may be considered as an exception if the outdoor dining area otherwise substantially complements the historic character of Old Town through exemplary architecture and design.

3. **Guidelines**

- a. Screen walls at outdoor dining areas should be scaled accordingly for visibility and safety and incorporate landscaping to soften the appearance. The height of garden walls should be a maximum of 36 inches above the adjacent sidewalk.

4. **Example**

The SPA's front yard landscape standards only apply to the area between the building and the back of the sidewalk (represented by the dotted line), as shown in Figure 5. Figure 6 provides an example of a recent project that complies with the landscaping standards of the SPA.

Figure 5 – Front Yard Landscaping



Table 3 – Recommended Trees for Non-Public Properties

Botanical Name	Common Name	Size ¹	Historic Old Town	West & East Old Town
<i>Acer buergerianum</i>	Trident Maple	S	X	X
<i>Celtis occidentalis</i>	Chinese Hackberry	L	X	X
<i>Lagerstroemia indica</i>	Crape Myrtle	S	X	X
<i>Nyssa sylvatica</i>	Sour Gum	L	X	X
<i>Platanus acerifolia</i>	London Plane Tree	L	X	X
<i>Pyrus calleryana</i> "Bradford"	Bradford Pear	M	X	X
<i>Robinia</i> "Purple Robe"	Locust	L	X	
<i>Tilia cordata</i>	Little Leaf Linden	M-L	X	X
<i>Zelkova serrata</i>	Sawleaf Zelkova	L	X	X
<i>Pistache chinensis</i>	Chinese Pistache	L		X

¹ S – Small, M – Medium, L – Large, XL – Extra Large

Source: Conceptual Master Plan, Carter-Burgess, December 1999

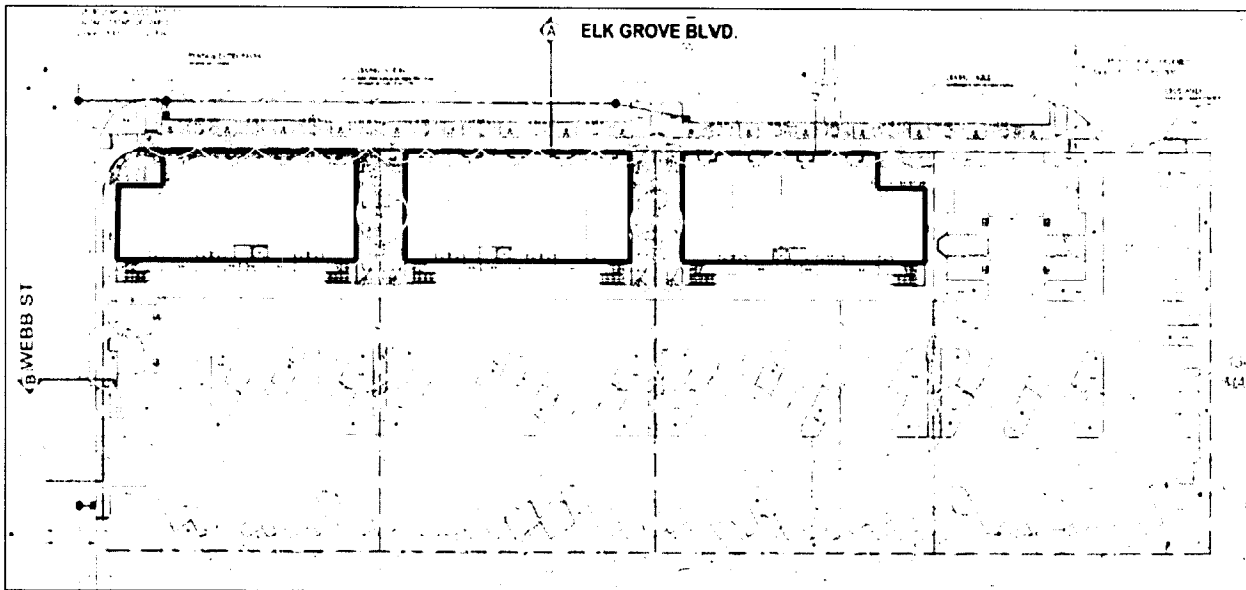
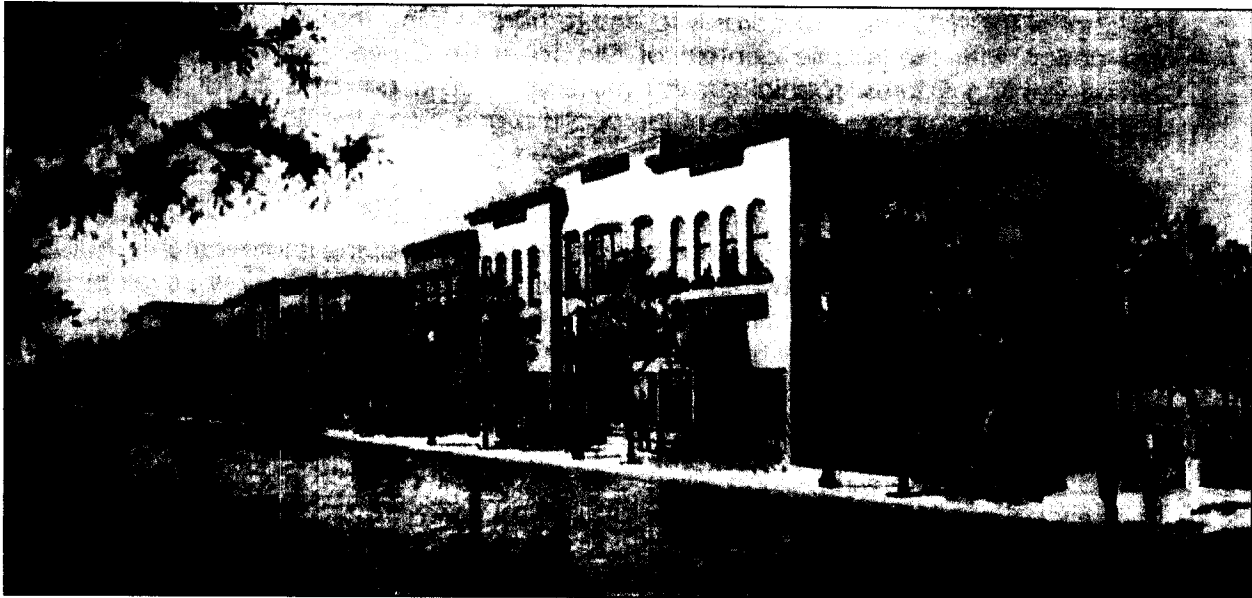
Table 4 – Recommended Shrubs for Non-Public Properties in Historic, West, and East Old Town

Botanical Name	Common Name	Size ¹
<i>Abelia grandiflora</i>	Glossy Abelia	M
<i>Camellia</i> species	Camellias	M-L
<i>Dietes vegeta</i>	Fortnight Lily	S
<i>Gardenia jasminoides</i> "Vetchii"	Gardena	M
<i>Hemerocallis</i> hybrids	Evergreen daylily	S
<i>Hydrangea macrophylla</i>	Hydrangea	M
<i>Lavandula stoechas</i>	Spanish Lavender	S
<i>Myrtus communis</i> "Compacta"	Myrtle	S
<i>Nerium oleander</i> (dwarf)	Dwarf Oleander	S-M
<i>Phormium tenax</i> (dwarf)	Dwarf New Zealand Flax	S
<i>Rhaphiolepis indica</i>	India Hawthorn	S-L
<i>Rhodorendron</i> species	Azalea	S-M-L
<i>Rosa</i> species	Rose	S

¹ S – Small, M – Medium, L – Large, XL – Extra Large

Source: Conceptual Master Plan, Carter-Burgess, December 1999

Figure 6 – Example of Project that Complies with Landscaping Standards



The Elk Grove offices at the southeast corner of Elk Grove Boulevard and Webb Street comply with the SPA's landscape standards for quantity and location of plantings. Although the building was brought forward to Elk Grove Boulevard to maintain the streetwall and place parking at the rear of the lot, ample landscaping is provided throughout the site. The parking lot also includes sufficient landscape islands to comply with the Zoning Code and Design Guidelines. The artist's rendering shown above is from the corner of Elk Grove Boulevard and Webb Street, looking southeast. The above site plan shows the building footprint in red, with the canopies of individual trees highlighted in green.

C. **HARDSCAPING**

1. **Goal**

The goal of the following standards is to ensure hardscaping that is compatible in scale and design with the historic context of Old Town Elk Grove. Hardscaping includes seating, lighting fixtures, special paving materials, public art, and similar features. It defines the pedestrian's experience of the public space along the sidewalk.

2. **Standards**

- a. If not yet improved by the City, hardscaping and landscaping improvements shall be provided to the space between the curb and the building for any new development consistent with existing phases of the City's hardscaping and landscaping improvements to Elk Grove Boulevard. Hardscaping and landscaping improvements shall be identical to existing phases of the City's improvements based on manufacturer, cut sheets, color, material, size, and style.
- b. The non-public paving along Elk Grove Boulevard shall be compatible with the adjacent public paving (i.e. color, texture, pattern, etc.).
- c. If not yet improved by the City, pedestrian amenities shall be provided along the entire building front for new development (benches, outdoor seating, pedestrian scaled lighting, clear windows, varied textures, materials, etc.), consistent with existing phases of the City's improvements to Elk Grove Boulevard.
- d. Pedestrian amenities shall also be provided along the entire building frontage of the side streets to the property line or alley/property line.
- e. Outdoor furniture and fixtures shall be located so it will not conflict with circulation patterns.
- f. Outdoor furniture and fixtures shall be compatible with the project architecture and the character of Old Town.
- g. Outdoor furniture and fixtures shall be of a sturdy construction to withstand abuse.
- h. All exterior vending machines are prohibited.
- i. No signs are allowed on, or as a part of, any outdoor furniture.
- j. All utility boxes shall be installed fully underground or incorporated into the building design through screening.

3. **Guidelines**

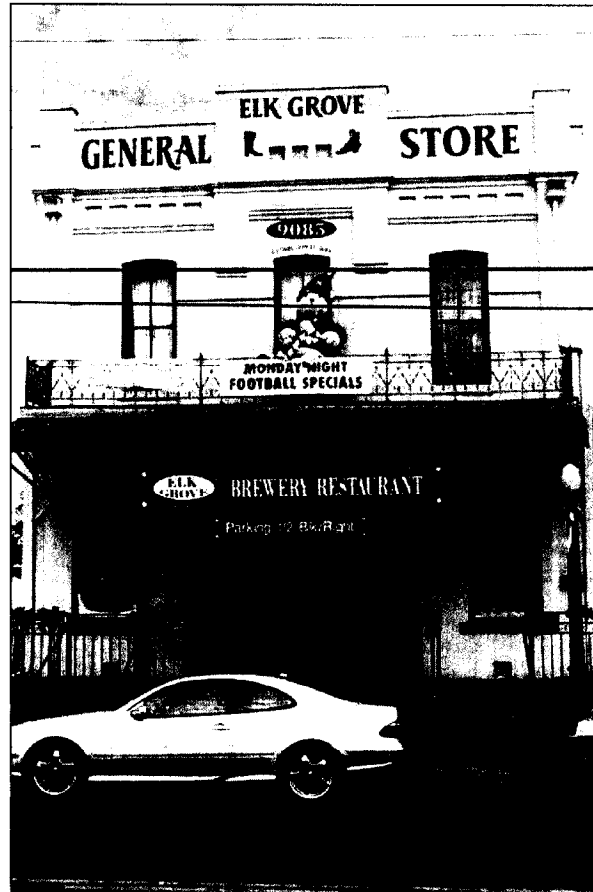
- a. Where appropriate, varying materials should be used within sidewalks, patios, entrance courts, crosswalks, handicap ramps, vehicular turn aisles.

4. **Example**

Figure 7 provides 3 examples of successful hardscaping. The two examples on the left are restaurants in Lodi's Old Town. The example on the right is the Elk Grove Brewery. In

each case, the hardscape provides a transition from the street to the interior of the building. Large, clear, storefront windows further enhance the transition between the outdoor and indoor spaces. Care is also shown in the choice of outdoor furniture and fixtures to ensure that they blend with the nearby historic buildings.

Figure 7 – Hardscaping



D. PARKING

1. Goal

To provide sufficient parking to meet the needs of each land use in a manner that enhances pedestrian safety and mobility.

2. Standards

- a. The Zoning Code parking ratios shall apply to development in Old Town, including outdoor seating at restaurants. Applicants may seek a reduction in parking if a project qualifies for a Special Review of Parking pursuant to §330-07(d) of the Zoning Code.
- b. Parking shall be on site or from a parking facility within 800 feet. Parking shall be provided through public and/or private financing for parcels which are too narrow to provide on site parking or which are not within 800 feet of an existing parking facility. Satisfaction of parking requirements through proximity to an existing parking facility may be permitted, provided that such parking facility is demonstrated to have

sufficient excess capacity to accommodate the parking requirements of the proposed use.

- c. New parking areas shall be located to the rear of buildings with access at the rear or side. Curb cuts on Elk Grove Boulevard are discouraged.
- d. If there is no option except to locate parking between the building and Elk Grove Boulevard, large parking areas shall be broken into segments no larger than 50 feet measured along the streetside.

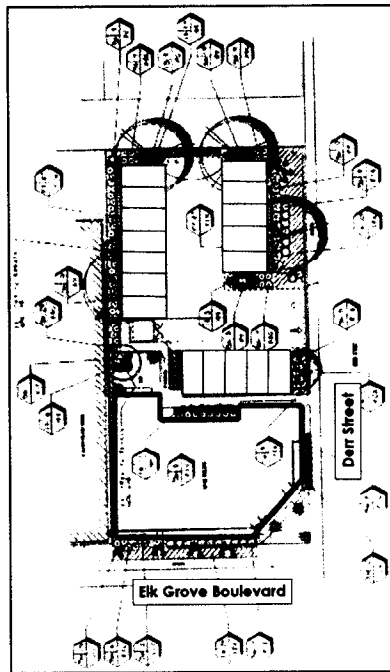
3. **Guidelines**

- a. Shared parking between commercial uses is encouraged.
- b. Parking lots should be designed so that pedestrians walk parallel to moving cars and drive aisles should be perpendicular to buildings.

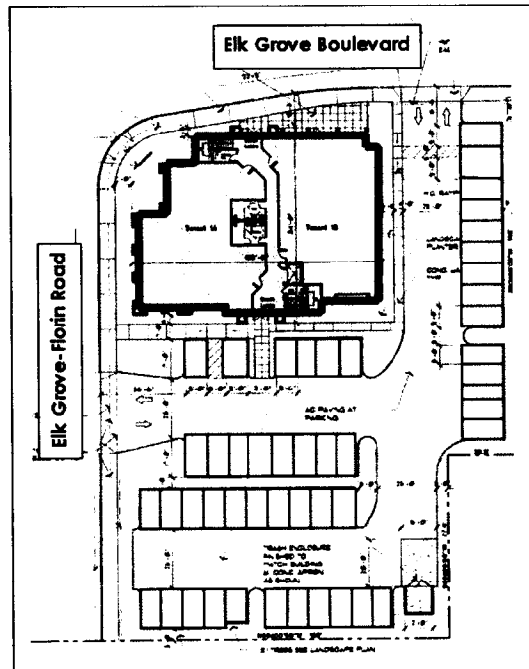
4. **Example**

The following new projects in Old Town provided adequate parking at the rear of the buildings, consistent with the parking ratios established by the Zoning Code. The yellow rectangles represent the individual parking spaces provided at each site. The building footprints are highlighted in red.

Figure 8 – Examples of Successful Parking



Century 21 at Northwest Corner of Elk Grove Blvd. and Derr St.



Office (approved but not built) at Southeast corner of Elk Grove Blvd. and Elk Grove-Florin Rd.

E. **SIGNS**

1. **Goal**

To ensure signage that is compatible in scale and design with the historic context of Old Town Elk Grove. The standards focus on the location, size, materials, and placement of signs, but not on their content.

2. **Standards**

- a. Signs shall be constructed from wood, material with a natural wood appearance, concrete, metal, screen print on canvas awnings, or painted graphics on building surfaces. Other materials may be approved by the Planning Director on a case by case basis.
- b. Sign size shall not exceed the maximum dimensions defined in Table 5.
- c. Roof signs, pole signs, neon signs, and flat plastic back-lit signs are prohibited in Old Town.
- d. Commercial signs hand painted on windows are may not exceed 25% of the glazed area.
- e. Signs not attached to the building may be placed temporarily on sidewalks or in front of buildings, which are either part of the public right-of-way or on private property, are subject to a Temporary Sign Permit issued by the Planning Director. Such signs are subject to the guidelines and standards of A.3., Table 5, in addition to any other conditions required by the Planning Director.
- f. All A-frame signs are prohibited.
- g. Signs shall be illuminated by means of either external lighting with fixtures that complement the sign and shield pedestrians or by halo lighting which individually illuminates opaque letters from behind. Internal illumination of signs is prohibited in all circumstances.
- h. No flashing, moving, or animated illumination is permitted on signs in Old Town.
- i. Back-lit awnings are prohibited if they illuminate signage that is mounted or attached on the awning.
- j. All conductors, transformers, and other equipment necessary for signs shall be concealed. Mounting hardware for signs shall be made inconspicuous. Fasteners, bolts, and clips for signs shall be made of non-corroding and stain-free materials.
- k. New billboards are prohibited in the SPA.
- l. Commercial signs attached to passenger vehicles or trailers are prohibited in the SPA.

3. **Guidelines**

- a. Signs should relate proportionally to building elements, should be an integral component of design, and should complement the building facade.
- b. Detached signs placed in front of buildings within the public right-of-way are permitted on limited portions of the public side walk within Old Town subject to compliance with the following application procedures and performance standards:

- Application Procedures

- 1.) A completed Temporary Sign Permit application, a scaled site plan, a scaled drawing of the proposed sign, and a description or sample of the sign materials shall be submitted to Development Services – Planning.
- 2.) Applicants seeking to permanently affix items within the right-of-way (i.e. signs, banners, etc.), shall also apply for an Encroachment Permit through the City's Public Works Department.
- 3.) The site plan shall show the following: a.) The location of the sign and any fixed elements on sidewalk or building within a twenty-five (25) foot radius around the sign location. Fixed elements include light-sign poles, trees/landscape strips, traffic lights, parking meters, raised planter curbs, tree-wells, pots, waste containers, and similar items; and b.) Include the clear zone dimension from the sign to the nearest sidewalk fixtures pursuant to the requirements specified below.
- 4.) Permits are valid for six (6) months.

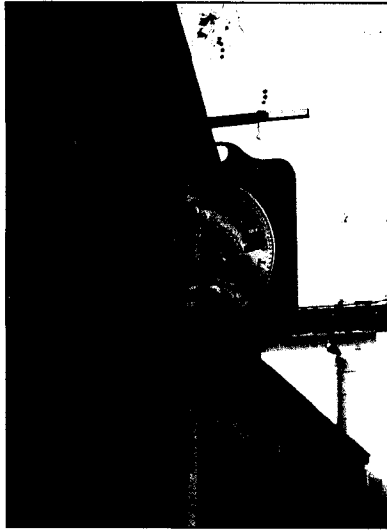
- Performance Standard

Signs and banners shall not obstruct sidewalk pedestrian traffic or create public health and safety hazards. Accordingly, all sidewalks shall maintain a six (6) foot minimum clear dimension between any sign and any fixed element within the sidewalk right-of-way.

4. **Example**

Figure 9 provides a series of photos that illustrate various well designed signs from local Old Towns. It should be noted that none of the examples show internally illuminated signs, which are prohibited in the Old Town Elk Grove SPA. The photos in Figure 9 are offered as examples of good sign design. Applicants are referred to Table 5 for guidance regarding permissible sign dimensions.

Figure 9 – Signage Best Practices



Top row:

- Sign attached at right angle (Danville)

Middle row from left:

- Monument sign (Danville)
- Window sign (Danville)
- Painted on building (Elk Grove)

Bottom row from left:

- 3 dimensional sign (Lodi)
- Sign attached flat against building (Salinas)

The photos in Figure 9 are offered as examples of good sign design. Applicants are referred to Table 5 for guidance regarding permissible sign dimensions.

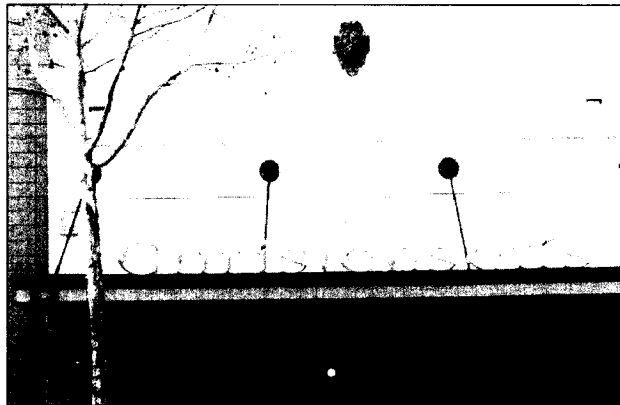
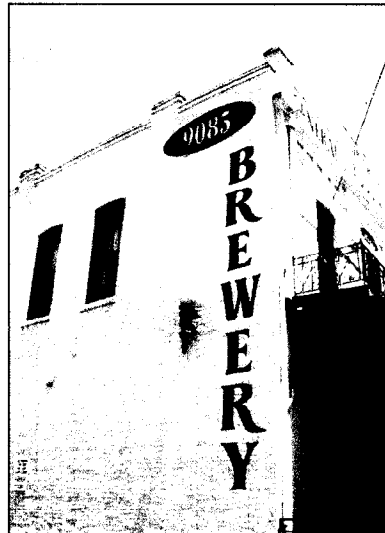
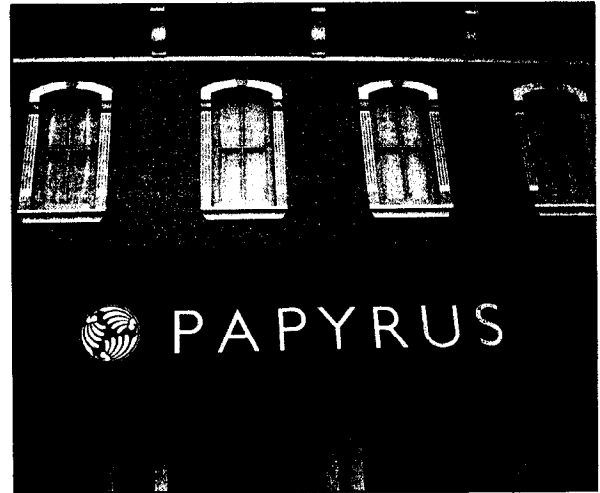
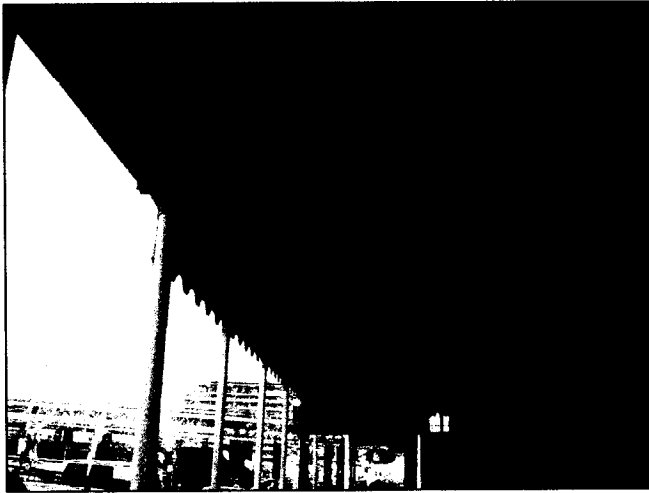


Figure 9 – Signage Best Practices (continued)



Above left: Hanging below canopy (Sacramento)
Above right: Awning Signs (Danville)

The photos in Figure 9 are offered as examples of good sign design. Applicants are referred to Table 5 for guidance regarding permissible sign dimensions.

Table 5 – Maximum Sign Size

Permitted Sign Types	Maximum Area ¹	Additional Area Requirements	Maximum Height ²
Monument sign	Subject to approval of a use permit from the Planning Director to ensure compatibility with setbacks and CPTED principles	<ul style="list-style-type: none"> • Limited to ≤ 16 sq. ft., excluding architectural supporting elements • 1 monument sign allowed per parcel • Subject to Code visibility requirements 	4 feet
Temporary detached signs	Subject to approval of a Temporary Sign Permit from the Planning Director	≤ 6 square feet	36 inches
Building signs			
Attached flat to building		NA	3 feet
Hanging from underside of canopy		See note ⁵	See note ⁵
Window sign	Aggregate of all building signs limited to 1 square foot per foot of building frontage	≤ 10% of glazing	12 inches
3-D signs (letters or logos) ³		NA	24 inches
Awning or canopy signs Project from building at right angle		≤ 25% of surface ≤ 6 square feet	12 inches 2 feet
Directional signs		NA	NA
Entrance signs ⁴		1 sq. ft. / entrance	NA

¹ The maximum area is determined by the measurement to the outside of a simple boundary perimeter including any voids within such perimeter.

² The maximum height is measured as the vertical distance from the grade to the highest point of the sign.

³ Permitted only if consistent with historic prototypes.

⁴ Limited to hours, emergency number, and similar information.

⁵ Limited to no more than 6 square feet, with a maximum height of 1.5 feet, provided adequate clearance is provided for pedestrian ingress/egress and mobility.

F. **ACCESS**

1. **Goal**

To ensure that automobiles, bicycles, and ultimately pedestrians can move safely and easily between the public right-of-way, parking lots, sidewalks, and buildings.

2. **Standards**

a. Alleys in Old Town shall comply with the following:

- 1.) Parcels adjacent to rear alleys shall maintain service access from the rear and provide attractive rear entrances.
- 2.) On-street loading and unloading shall only be permitted for parcels that are not adjacent to rear or side alleys.
- 3.) Projects adjacent to alleyways shall improve the appearance of the alleyways per current Public Works standards.
- 4.) Existing mid-block north/south alleys shall be utilized for parking access wherever they occur.
- 5.) An entry gateway arch or similar feature to distinguish the pedestrian alley and reinforce the continuity of the "Streetwall" is required.
- 6.) Access width for pedestrian alleys (building to building or building to property line) shall not exceed 12 feet, unless a larger width is required by a public utility (such as CSD-1 or Water Resources) to provide service to the site.
- 7.) Vehicle access to parking lots shall be from side streets and not from Elk Grove Blvd. The Planning Commission may approve exceptions to this requirement for parcels without rear access through alleys or through an adjacent parcel through a recorded easement.

b. Vehicle, bicycle, and pedestrian circulation shall comply with the following:

- 1.) Primary pedestrian access to all buildings shall be through an entry on the street side.
- 2.) Vehicle circulation patterns shall be as simple and obvious as possible.
- 3.) Pedestrian circulation patterns shall be as simple and obvious as possible.
- 4.) Circulation shall be designed to avoid all conflict between vehicles and people. The pedestrian shall take precedence over the vehicle if a conflict arises.
- 5.) Pedestrian scaled lighting is required.
- 6.) Accessibility and safety (non-slip surfaces) shall be provided.
- 7.) Bicycle routes shall be marked & not travel on pedestrian sidewalks or pathways, consistent with the trails plan shown in Figure PTO-2 of the City's General Plan.
- 8.) Regarding handicap accessibility in Old Town, all facilities and amenities shall be accessible to people with disabilities in accordance with ADA, State, and City guidelines.

3. **Guidelines**

a. Alleys in Old Town should comply with the following:

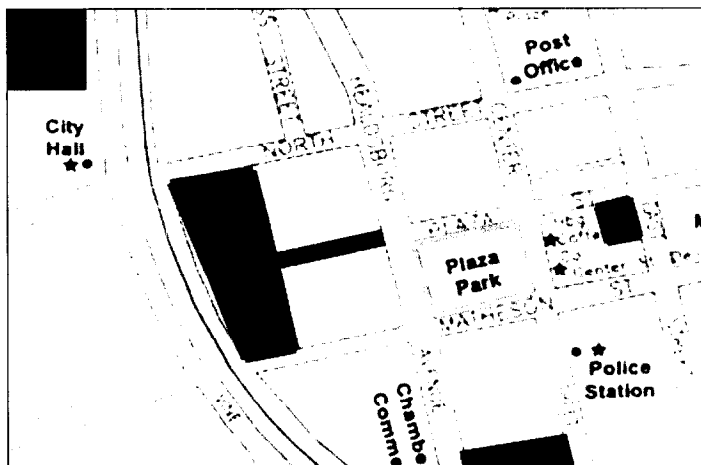
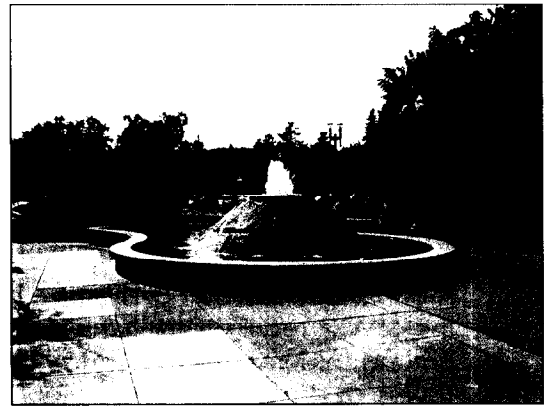
1. When utilized, pedestrian alleys should be spaced at not more than 100' on center.

2. Single-lane, one-way vehicular/pedestrian access connecting Elk Grove Blvd. with off-street parking behind buildings not fronting on Elk Grove Blvd. may be approved.
- b. Vehicle, bicycle, and pedestrian circulation should comply with the following:
1. Pedestrian paths should be separated from automobile circulation routes.
 2. Paving materials with color/texture/pattern should be an integral part of the design where in the right-of-way.
 3. Varied paving materials should occur at the overlap of pedestrian & vehicular areas.
 4. Pedestrian paths should include trees, lighting, overhead trellises, sitting areas, etc.
 5. A well lighted route should be provided from buildings to the parking area.
 6. Pedestrian alleys should be aligned with mid-block crosswalks where possible.

4. **Example**

There are several Old Towns in Northern California that successfully provide vehicle, bicycle, and pedestrian access. Most Old Towns with successful access site public and private parking to the rear of buildings, allowing the space between the building façade and the roadway to be oriented to the pedestrian. For example, Healdsburg provides parking behind its commercial district, which is accessible by the pedestrian friendly alley also shown in Figure 10.

Figure 10 – Access Best Practices



Photos show pedestrian alley from Healdsburg's Old Town to parking behind buildings. Top left photo is taken from Healdsburg Ave. looking toward fountain at end of alley. Top right photo shows fountain at end of alley next to parking. Red line in the map at left illustrates location of pedestrian alley. Areas shaded black are public parking. Development exists on both sides of the alley and around the Plaza Park.

G. COMPATIBILITY

1. Goal

To ensure that adjoining land uses on two or more parcels do not conflict with each other, and to ensure that features within a site (such as a trash enclosure) do not conflict with the primary use of the parcel.

2. Standards

- a. New commercial uses shall be required to install a six-foot masonry wall along any boundary shared with a property zoned for residential use. If an alley is located between the commercial and residential uses, the commercial applicant shall be required to build the six foot masonry wall on the residential side of the alley, subject to the agreement of the residential property owner. Fencing in side and front yards shall be consistent with the standards established by the Zoning Code.
- b. Trash enclosures shall be included in all projects, except for parcels without off street parking. All trash enclosures shall be designed consistent with the following:
 - 1.) Trash enclosures shall be built of non-combustible materials (wood not permitted).
 - 2.) Materials/finishes shall relate to and be of same quality as materials used on building.
 - 3.) Landscaping and screening shall be included to help visually buffer loading area and enclosure.
 - 4.) Overhead screening is required when the enclosure is visible from multi-storied buildings.

3. Guidelines

- a. Structures and activities should be located and designed to avoid creating nuisances and hazards for adjoining properties, particularly residential.

4. Example

A consistent and comprehensive implementation of the design guidelines established by this SPA is required to achieve compatibility between uses on different parcels and among features on a site. Staff observed several examples of compatibility in other Old Towns, as detailed by the photographs throughout this document.

H. OUTDOOR CAFE SEATING

1. Goal

To animate the downtown environment and complement retail and cultural activities by encouraging the establishment of outdoor café seating (as an augmentation to a restaurant operating within the adjacent building) on limited portions of the public side walk in Old Town, subject to the minimum dimensional and performance standards detailed below to ensure cafe design is functionally compatible with other needs and provides for the protection of the public health, safety and welfare.

2. Standards

Outdoor sidewalk cafes (as an augmentation to a restaurant operating within the adjacent building) are permitted on limited portions of the public side walk within Old Town subject to compliance with the following application procedures (see H.2(a) below) and performance standards (see H.2(b) below).

a. Application Procedures

- 1.) A completed Conditional Use Permit application, a scaled site plan, and a scaled elevation drawing of the proposed outdoor dining facilities shall be submitted to Development Services – Planning.
- 2.) Applicants seeking to permanently affix items within the sidewalk (i.e. signs, barriers, etc.), shall also apply for an encroachment permit through the City's Public Works Department.
- 3.) The site plan shall show the following: a.) The location of tables, chairs, accessory service facilities, the mandatory perimeter barrier element, and any fixed elements on sidewalk within a twenty-five (25) foot radius around the outdoor cafe area. Fixed elements include light-sign poles, trees/landscape strips, traffic lights, parking meters, raised planter curbs, tree-wells, pots, waste containers, and similar items; and b.) Include the clear zone dimension from the outer perimeter of the outdoor cafe fixture to the nearest sidewalk fixtures pursuant to the requirements specified below in H.2(b)(1).
- 4.) Elevation plans shall show front and side views of the outdoor dining facilities, including all proposed above-grade improvements such as planter boxes, awnings, tables, chairs, and similar features.
- 5.) Upon approval of a Conditional Use Permit by the Planning Director, the applicant shall obtain all required building/electrical permits, if applicable, prior to construction.

a. Performance Standards

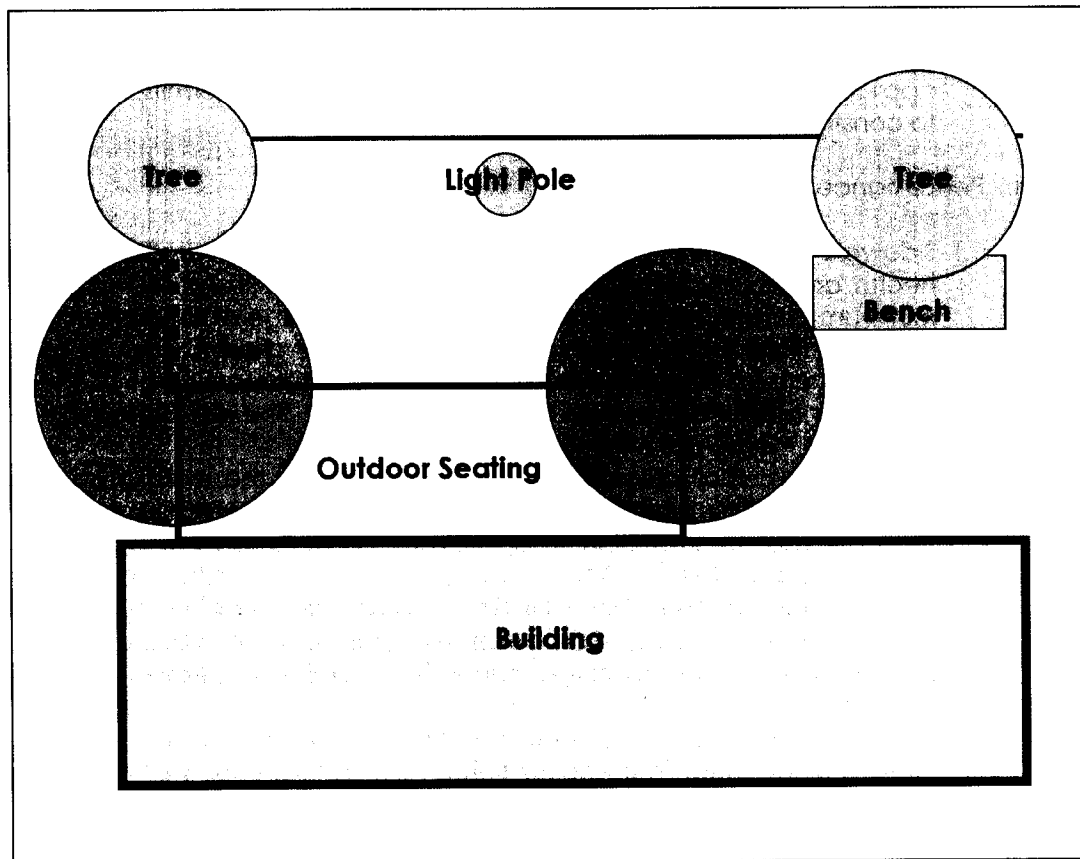
- 1.) Sidewalk cafes shall not obstruct sidewalk pedestrian traffic or create public health and safety hazards. Accordingly, all sidewalks shall maintain a six foot minimum clear dimension between the outside edge of any sidewalk cafe fixture and any fixed element within the sidewalk right-of-way. The six foot minimum clear dimension may be measured from the outermost point of the mandatory perimeter barrier element as a radius of a circle. The red dotted line in Figure 11 represents the six foot minimum clear dimension.
- 2.) All applicants shall provide proof of insurance for the existing business and the applicant's ability to obtain a policy of general commercial liability insurance for the café use. A condition of approval shall be added to the Conditional Use Permit requiring the applicant to obtain such an insurance policy for the café and that they add the City of Elk Grove as an additional insured to the policy.
- 3.) Outdoor sidewalk cafes shall be either open, partially covered or enclosed by means of umbrellas, awnings, canopies or similar protective structures, or fully enclosed.
- 4.) Enclosed cafes shall be constructed of material that is predominantly transparent. Glass shall be clear, not heavily tinted or mirrored. Base walls of enclosed cafes shall not be greater than twelve (12) inches in height. The outside window height shall not be less than eight feet. All permanent structures shall meet building code requirements.

- 5.) Roof material covering an outdoor cafe (if used) shall be either temporary, fixed, or retractable and can extend into limited portions of the public side walk from the face of the building a distance up to the minimum clear zone dimension specified above, or a maximum distance of ten (10) feet from the face of the building, whichever is less. Awnings, canopies, or similar protective shelter must be fire-treated or nonflammable.
- 6.) Permanent enclosed sidewalk cafe structure shall be constructed of noncombustible material. Enclosed roof over seating area shall be fire-sprinklered.
- 7.) A mandatory decorative barrier element separating the outdoor cafe seating area from adjacent pedestrian traffic shall be provided. The design and materials of such decorative barrier element shall complement and be compatible to the architectural design of the restaurant building façade and may include, but not necessarily be limited to wrought iron fencing, raised planters, or similar features.
- 8.) Enclosed cafes shall be used only as seating areas. Storage, kitchen or restroom uses are not allowed. The seating shall be movable.
- 9.) All outdoor and enclosed cafes shall be level with the sidewalk, and handicap accessible.
- 10.) If decorative/accent lighting is incorporated into the outdoor cafe structure, awning, canopy, etc., it shall meet all city code requirements.

3. **Guidelines**

None.

Figure 11 – Minimum Clear Dimension for Outdoor Cafes



4. **Example**

Figure 12 provides examples of outdoor cafes from Lodi. Note that each café is defined by some form of decorative barrier element, including fencing or planters forming an edge.

Figure 12 – Outdoor Seating



I. **OUTDOOR RETAIL SALES**

1. **Goal**

To animate the downtown environment by allowing the establishment of outdoor retail sales (as an augmentation to a retail business operating within the adjacent building) on limited portions of the public side walk in Old Town, subject to the minimum dimensional and performance standards detailed below to ensure outdoor retail design is functionally compatible with other needs and provides for the protection of the public health, safety and welfare.

2. **Standards**

Outdoor retail sales (as an augmentation to a retail business operating within the adjacent building) are permitted on limited portions of the public side walk within Old Town subject to compliance with the following application procedures (see I.2(a) below) and performance standards (see I.2(b) below).

a. Application Procedures

- 1.) A completed Conditional Use Permit application and a scaled site plan of the proposed outdoor retail sales shall be submitted to Development Services – Planning.
- 2.) Applicants seeking to permanently affix items within the sidewalk (i.e. signs, barriers, etc.), shall also apply for an encroachment permit through the City's Public Works Department.
- 3.) The site plan shall show the location of outdoor sales shelves, racks, or similar features, and any fixed elements on the sidewalk within a twenty-five (25) foot radius around the outdoor retail sales area. Fixed elements include light-sign poles, trees/landscape strips, traffic lights, parking meters, raised planter curbs, tree-wells, pots, waste containers, and similar items; and b.) Include the clear

zone dimension from the outer perimeter of the outdoor retail sales features to the nearest sidewalk fixtures pursuant to the requirements specified below in 1.2(b)(1).

- 4.) Upon approval of a Conditional Use Permit by the Planning Director, the applicant shall obtain all required building/electrical permits, if applicable, prior to commencement of outdoor retail sales activities.

b. Performance Standards

- 1.) Outdoor retail sales shall not obstruct sidewalk pedestrian traffic or create public health and safety hazards. Accordingly, all sidewalks shall maintain a six foot minimum clear dimension between the outside edge of any outdoor retail sales feature and any fixed element within the sidewalk right-of-way. The six foot minimum clear dimension may be measured from the outermost point of the outdoor retail sales feature as a radius of a circle.
- 2.) All applicants shall provide proof of insurance for the existing business and the applicant's ability to obtain a policy of general commercial liability insurance for the outdoor retail sales use. A condition of approval shall be added to the Conditional Use Permit requiring the applicant to obtain such an insurance policy for the outdoor retail sales and that they add the City of Elk Grove as an additional insured to the policy.
- 3.) All outdoor retail sales shall be level with the sidewalk, and handicap accessible.
- 4.) If decorative/accent lighting is incorporated into the outdoor retail sales, it shall meet all city code requirements.
- 5.) All outdoor retail sales shelves, tables, racks, and similar features shall be movable.

3. **Guidelines**

None.

4. **Example**

Not applicable.

J. **OUTDOOR PERFORMANCE VENUES**

1. **Goal**

To complement the downtown environment by permitting small outdoor performance venues attached to an existing restaurant or entertainment establishment, subject to the minimum standards provided herein, and to ensure that outdoor performance venues are operated in a manner that protects the public health, safety and welfare.

2. **Standards**

Outdoor performances shall be conducted in an outdoor performance venue for which a valid permit has been issued in compliance with the application procedures in Section J.2.(a). All outdoor performance venues shall meet and shall be operated in compliance with the standards set forth in Section J.2.(b).

a. Application Procedures

- 1.) A Conditional Use Permit application and a scaled site plan noting the location of the outdoor performance venue and its component parts, including amplification, shall be submitted to the City.
- 2.) Upon approval of a Conditional Use Permit by the Planning Commission, the applicant shall obtain all required building/electrical permits, if applicable, prior to utilizing the outdoor performance venue.

b. Performance Standards

- 1.) There shall be no impacts to pedestrian movement or traffic safety.
- 2.) Outdoor performance venues shall not be utilized for more than four total hours within any twenty-four hour period.
- 3.) Outdoor performance venues shall be limited to the hours of 8:00 a.m. to 9:00 p.m.
- 4.) Outdoor performance venues shall be subject to the City's General Plan noise thresholds.
- 5.) Outdoor performance venues shall be incidental to the primary use of the property.
- 6.) An outdoor performance venue may not include a stage or dance floor.
- 7.) Outdoor performance venues shall not create a nuisance.
- 8.) Outdoor performance venues shall be a minimum of one hundred feet from a residential zone.
- 9.) The owner of the facility shall not permit the performance of any matter violating the City's adult business ordinance.

3. **Guidelines**

None.

4. **Example**

Not applicable.

SECTION V – ARCHITECTURAL DESIGN GUIDELINES

Section V provides architectural design guidelines under 11 subheadings, including height, materials, color, scale, architecture, storefronts, entries, architectural details, and roofing.

A. HEIGHT

1. Goal

To preserve the historic character, architectural integrity, and pedestrian friendly environment of Old Town Elk Grove through the regulation of building height, including first floor interior height (floor to ceiling), exterior height (ground to the highest point of the building), and the height of landmark features.

2. Standards

- a. Height of new buildings shall not exceed three stories or 45 feet, with a maximum of 35 feet if not fronting on Elk Grove Boulevard and adjacent to residential.
- b. A third floor shall be setback 5 feet from the streetwall. (See Figure 13.)
- c. Building heights shall be maintained that relate to adjacent structures at the street frontage. Taller portions of the building shall be setback so as not to disrupt the rhythm of the existing street façade. (See Figure 13.)
- d. Landmark design elements shall not exceed 45 feet in height. This may include enhanced roof forms, clock towers, flags, and banners.

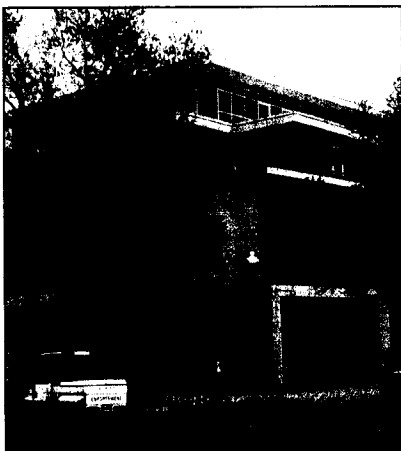
3. Guidelines

- a. All ground level uses should have a minimum height of 10 feet from floor to the major finish ceiling, excluding soffits.

4. Example

Figure 13 provides examples for several of the standards noted above.

Figure 13 – Height



Left: The 3rd & 4th floors of this building are setback as noted in Standard 2.B.
Right: The streetwall in Old Town Sacramento is reinforced through building heights.

B. **MATERIALS**

1. **Goal**

To ensure that exterior building materials used in new construction and the redevelopment of existing buildings are consistent with the historic styles represented in Old Town Elk Grove.

2. **Standards**

- a. Building materials shall reflect a texture natural to that material. A minimum of two textures shall be displayed at streetfront elevations. Large uninterrupted and unarticulated monochromatic expanses are prohibited. The Starbucks Coffee at the bottom of Figure 14 utilizes brick, plaster, and metal awnings in a manner that is true to the characteristics of each material. For example, the texture and appearance of the brick is not altered. It is presented in the architecture in a manner that retains the integrity of the material.
- b. Materials shall be of a permanent nature, durable, and low maintenance. Brick, iron, and other masonry-type materials are encouraged. When using these materials as a veneer, attention shall be paid to the corner treatment and similar details so that the materials do not appear too thin.

3. **Guidelines**

- a. Building materials should be balanced and enhance those already found in the district.
- b. Corrugated metal siding, reflective glass, plywood siding and synthetic siding materials (plastics) are strongly discouraged unless they can be demonstrated attractively.
- c. Stucco covered foam is acceptable if properly detailed and applied. Special attention to durability is required at lower levels accessible to the pedestrian or other damage.
- d. Construction materials should be consistent and complement the existing buildings found along the Boulevard and the theme set forth within the Special Planning Area. Site materials should complement materials as found on existing historic buildings. The use of brick, wood, and iron is encouraged.

4. **Example**

Figure 14 provides photographs of three Old Town projects that are consistent with the above standards. All of these projects were approved by the City after its incorporation. Two of the projects in Figure 14 have been built as of the date of adoption of this updated SPA. The new Century 21 office (top of Figure 14) at the northwest corner of Elk Grove Boulevard and Derr Street includes wood, wood lap siding, and stucco. The approved but not yet built office building (middle of Figure 14) at the southeast corner of Elk Grove Boulevard and Elk Grove-Florin Road includes wood, board and batten wall finish, brick, cement plaster, metal and canvas awnings. The new Starbucks (bottom of

Figure 14) at the northwest corner of Elk Grove Boulevard and Waterman Road includes brick, plaster, and metal awnings.

Figure 14 - Materials



C. **COLOR**

1. **Goal**

To ensure that exterior colors used in new construction and the redevelopment of existing buildings are consistent with the historic styles represented in Old Town Elk Grove.

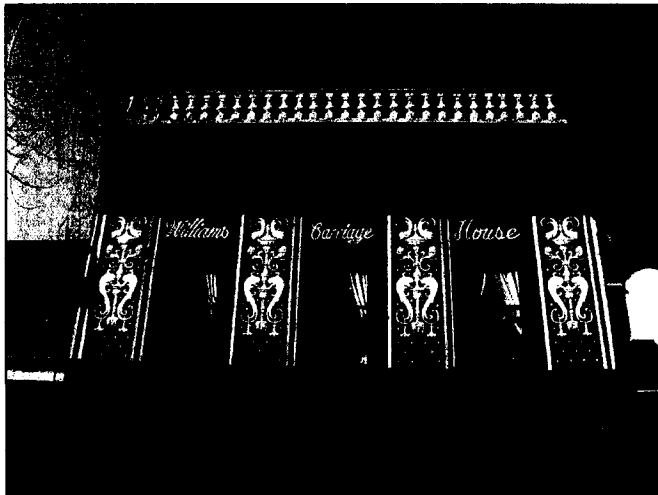
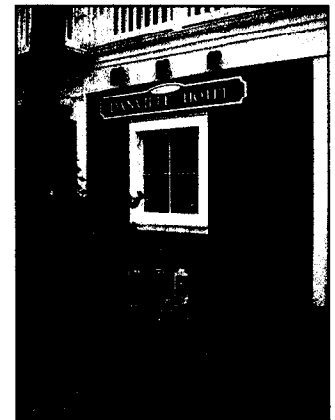
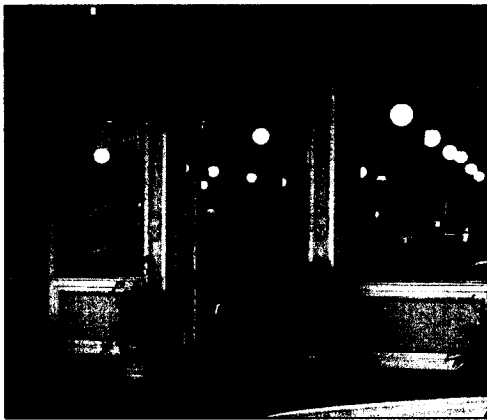
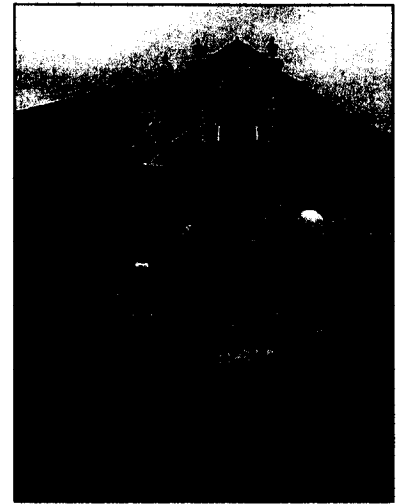
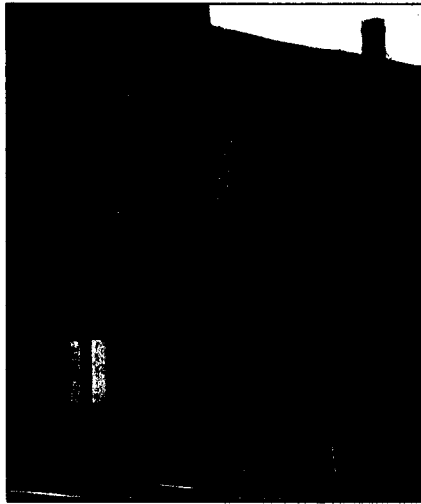
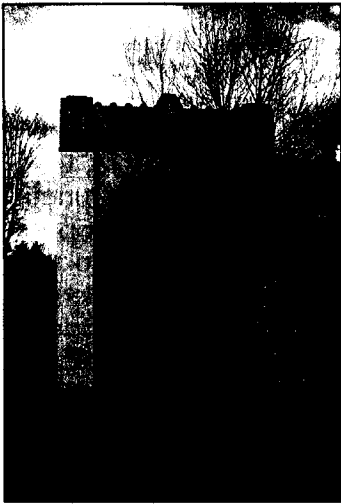
2. **Standards**

- a. Paint colors shall be in keeping with the historic period and characteristics of the building or structure. The period of significance for buildings and structures in the SPA is 1876 to 1930, and a variety of exterior paint colors are associated with this time period and the types of buildings and structures within the SPA. Therefore, the use of a variety of muted colors that highlight the different periods of use and functions of the buildings and structures in the SPA while retaining its "Main Street" appearance shall be required. One muted color shall be used as a background to unify the overall appearance of the building or structure, while one or two other colors shall be used for accent to highlight architectural details and trim. Different shades of the same color shall be used for variation in color, while maintaining a color palette consistent with the historic period and characteristics of the building or structure. A single color scheme shall be used for an entire building or structure. Applicants are referred to Appendix 1 of the SPA entitled "A Guide to Color, Styles and Architectural Periods", from California Paints. The period of significance for buildings and structures in the SPA is 1876 to 1930.
 - b. An integrated color palette for the entire project shall be submitted with the design.
 - c. Building colors and materials shall be balanced and enhance those already found in the district.
 - d. Color and texture of a project shall be compatible with its surroundings and respective of the character of Old Town Elk Grove.
3. **Guidelines**
- a. Colors should be selected to achieve specific goals within the project like harmony, contrast, or articulation.

4. **Example**

The projects shown in the first row of Figure 15 from left to right are from Old Town Chico (left and middle) and Vacaville (right). The second row includes Old Town Sacramento (left and middle) and Danville (right). The third row includes Old Town Folsom (left) and Vacaville (right). Figure 15 illustrates projects with an effective use of color.

Figure 15 – Exterior Color



D. MURALS

1. Goal

**Old Town SPA
ADOPTED AUGUST 10, 2005**

To ensure that murals, as defined in this SPA, are compatible in scale and design with Old Town Elk Grove's historic appearance and to prevent attention-arresting results that would endanger drivers or pedestrians or inhibit traffic flow. The standards focus on architecture, color, materials, and size, but not on their content.

2. **Standards**

- a. Murals shall be consistent with the standards and guidelines contained in the SPA Sections pertaining to architecture, color, and materials, respectively. In no event are the standards applied from those or other SPA sections to be the basis for denial or conditioning of a mural on the basis of content;
- b. Murals shall not use the words "Stop", "Look", "Listen", or any other word, phrase, symbol, lights, motion, sound, fumes, mist, or other effluent or character in such manner as to interfere with, mislead, or confuse traffic;
- c. Prior to the commencement of a mural, the applicant shall obtain design review approval from the City's Planning commission which will apply the standards and guidelines referenced in (a) above;
- d. Murals may use up to 50% of the area of any single building wall;
- e. Murals shall not depict specified anatomical areas or specified sexual activities as defined in Section 130-171.4 and 130-171.5 (Title 1, Chapter 25 of the City of Elk Grove Zoning Code), adult entertainment facilities, or gang affiliation symbols.

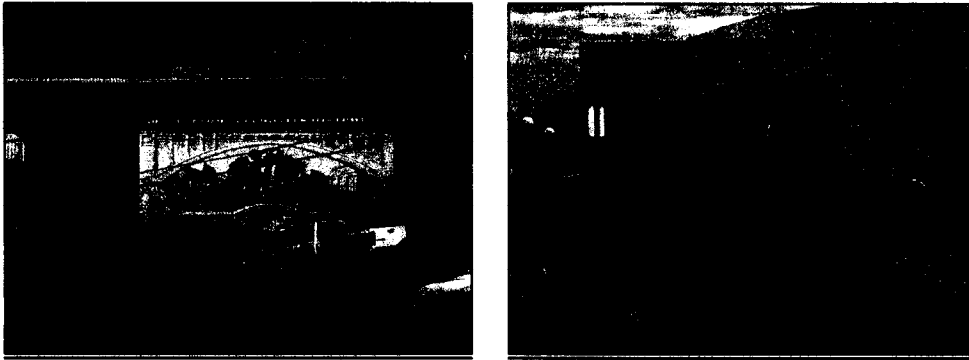
3. **Guidelines**

The City encourages the portrayal of social, historic, or cultural themes that celebrate Elk Grove's past, present, and future. This guideline, however, shall not be used by the City as criteria for denying or conditioning any approval or application for a mural based upon its content.

4. **Example**

The mural shown at the left of Figure 16 is from Folsom. The mural at the right is from Lodi. Both murals are compatible with the architecture of the building and express a historic/cultural theme.

Figure 16 – Murals



E. **SCALE**

1. **Goal**

To ensure that the spatial relationship between structures and between buildings and people retains a pedestrian emphasis. That spatial relationship is defined by the height, mass, and setbacks of buildings.

2. **Standards**

- a. Larger infill projects shall be articulated such that massing and detailing is in scale with the smaller buildings.
- b. Continuity between primary and secondary elevations is extremely important. Building elements such as material, texture, color, form, and rhythm shall be continued on all elevations of a building. While the primary street elevation may be more ornate (see buildings in Figure 17 below), the secondary elevations must retain a visual relationship to the primary elevation through a consistent use of material, texture, color, form, and rhythm.

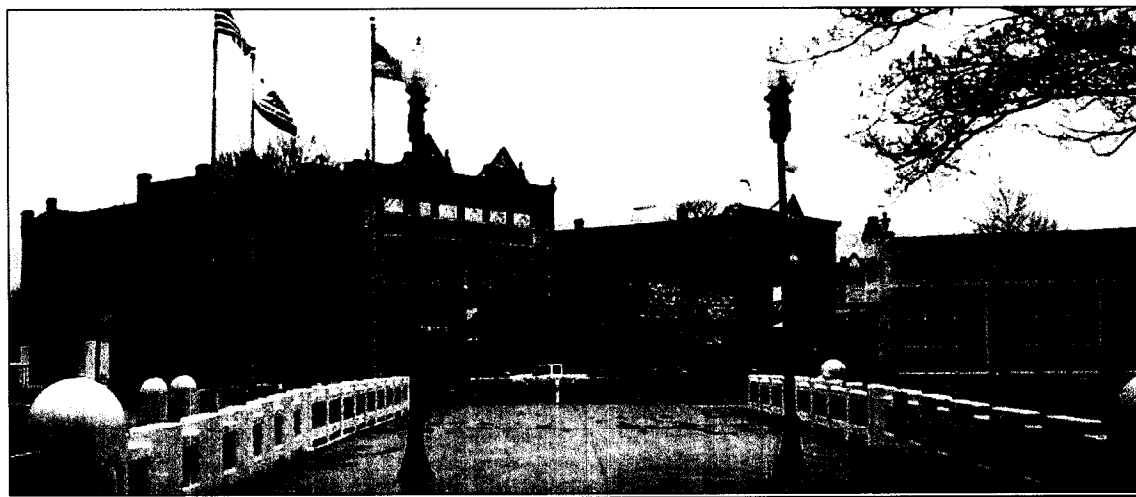
3. **Guidelines**

- a. The scale of new buildings in Old Town should blend with what currently exists.
- b. Infill buildings adjacent to existing structures should create a harmonious relationship between the new and existing buildings. The use of color, materials, shapes, and offsets may be used to accomplish this objective.
- c. Non-residential buildings sharing street frontage with residential uses should maintain a residential character.

4. **Example**

Figure 17 provides photos of Old Town Salinas and Vacaville. Development in these photos has successfully preserved the scale both between buildings and between buildings and pedestrians through consistent application of height, setback, detailing, massing, and articulation standards.

Figure 17 – Scale



F. **ARCHITECTURE**

1. **Goal**

To ensure that new architecture follows the traditional construction patterns found along the corridor, is sensitive to its cultural importance, and is compatible with its historical ambiance.

2. **Standards**

- a. New construction shall be representative of a specific historical architectural motif and style of the period represented in Old Town Elk Grove. Project architects shall provide a written explanation identifying their chosen motif and style, noting which architectural elements express that style, and explaining why it is compatible with existing historic development in Old Town. Applicants are referred to the historic

buildings listed in Figure 22 as representative historic architecture. Other existing buildings of comparable historic value may also be used as representative structures.

- b. Old Town West and Old Town East shall be seen and designed as transition zones with Historic Old Town as the point of arrival (see Figure 21). There shall be a consistency and cohesiveness throughout Old Town Elk Grove, however, building materials as well as the scale and detail of site furnishings shall be more ornate within Historic Old Town.
- c. New construction shall relate to existing construction and development through a careful reflection of the architectural detailing of surrounding development, including features such as building height, materials, and proportion and placement of details such as entries, windows, arches, or wainscots.
- d. Renovations of existing buildings shall preserve existing amenities.
- e. Franchise architecture or corporate prototype design is prohibited. Building elevations shall be designed to fit into the surrounding character of Old Town.
- f. Renovations of registered buildings shall comply with the National Historic Preservation guidelines and all other applicable requirements.
- g. When remodeling existing buildings, deteriorated architectural features shall be repaired rather than replaced wherever possible.
- h. All architectural elements shall be designed with respect to the entire façade and shall relate to the adjacent buildings.
- i. The primary consideration for the development of this unique corridor is to design spaces for the pedestrian. Whether it is new development or a remodeling of existing buildings, the design shall be visually interesting and blend with the surrounding architecture and streetscape presence and not detract from the overall feeling of Old Town Elk Grove.

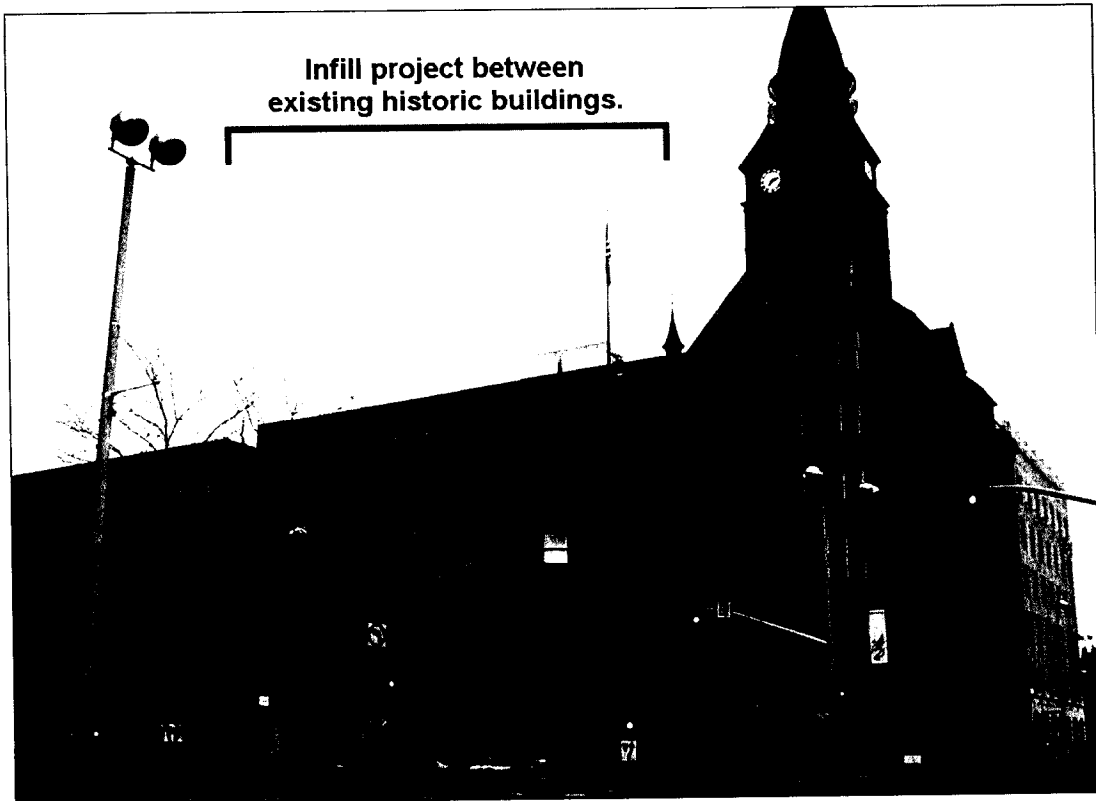
3. **Guidelines**

- a. New construction details and materials should follow the pattern and principles of the historic architectural design.

4. **Example**

Figure 18 provides several photographs of *The Spokesman-Review* building, constructed in 1891 in Spokane, Washington. While its seven stories make it clearly incompatible for Old Town Elk Grove in terms of its scale, it does provide a good example of a sensitive addition to a historic building on an infill site. The addition establishes a visual relationship with the original 1891 building through the use of brick, by matching the height of the neighboring buildings, by reflecting the second floor arch feature, and through careful placement of windows to mirror the horizontal lines established in the original building. Also, the façade of the addition follows the curve of both the street and the original building. While the addition has less detailing than the original building and is generally more modern, it is a contemporary interpretation of the more historic style.

Figure 18 – Architecture



G. STOREFRONTS

1. Goal

To create a seamless and historically sensitive transition from the pedestrian sidewalk space to the building interior.

2. Standards

- a. Dark colored, reflective, or obscure glazing is prohibited. (See Figure 19.)
- b. Historic prototype storefronts provide a decorative base panel in the wall below the window. Appropriate materials shall be durable commercial grade such as ceramic tile, brick, stone veneers and wood paneling with moldings. (See Figure 19.)
- c. Enhance the pedestrian experience by unifying storefront elements including signs, graphics, awnings, lighting, and color.

3. **Guidelines**

- a. Maximizing glazing at the ground level of new and existing buildings being remodeled is encouraged. Provide visual access to the building's primary activity and orient it to the consumer.
- b. Window size, shape, and style should be responsive to the building design. Traditional storefronts may have smaller windows with intermediate mullions.
- c. Existing storefront upgrades should respond to the building's intrinsic architectural qualities as well as those of the street façade. The design should be responsive to the character of the existing building.
- d. In Historic Old Town (see Figure 21), encourage the preservation and restoration of original storefronts. As much original material and detail should be retained in the restoration as possible. Restoration should not destroy the distinguishing qualities or character of the structure and its environment. Removal or alteration of any historic material or architectural feature in Historic Old Town should not be allowed on significant structures. Removal or alterations of any historic material or architectural features should be minimized on less significant structures.

4. **Example**

Figure 19 provides examples of storefronts from Old Town Chico and Danville (top row). A storefront from Ogunquit, Maine is shown in the bottom row. The obvious common feature to all of the buildings is the large storefront windows which maximize glazing above the wainscot base.

Figure 19 – Storefronts



H. **ENTRIES**

1. **Goal**

To ensure that building entries in new construction are consistent with the historic styles represented in Old Town Elk Grove.

2. **Standards**

None.

3. **Guidelines**

- a. Entries should be well defined, face directly to the main public street or street corner, and be well illuminated. Dark or very deep entry spaces are discouraged.
- b. Corner projects have the opportunity for dual entries and should have common elements that visually relate to the secondary entry as well as the primary entry.
- c. For corner projects, recessed, diagonal, or setback corners to form a distinctive corner element are encouraged.
- d. Elements that can be used to articulate an entry include, but are not limited to recesses, overhangs, awnings, lighting, graphics, color etc.
- e. The scale of the entry should relate to the building's overall width and height.

4. **Example**

Figure 20 provides examples of entries from several Old Towns, as noted below. The examples from Chico and Elk Grove show successful articulation of the entry by recessing it behind the front façade of the building by several feet. The Salinas and Lodi photos provide effective use of awnings above entries. The Chico, Elk Grove, and Sacramento examples also illustrate how color can be used to define the entry.

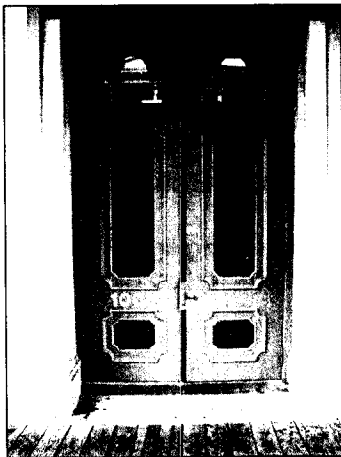
Figure 20 – Entries



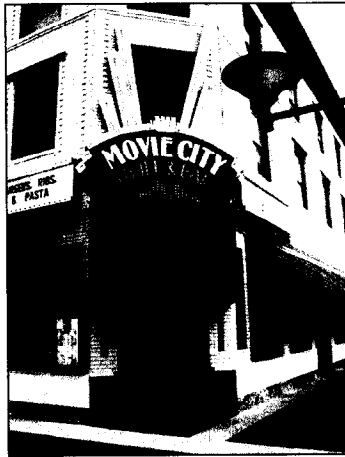
Chico



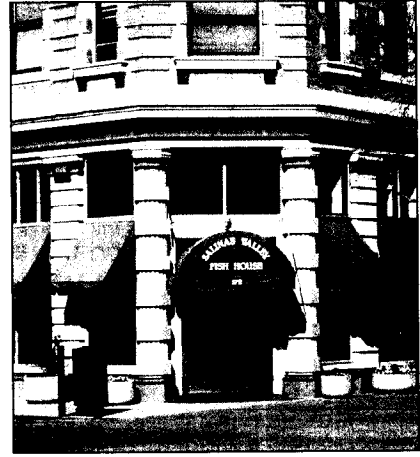
Elk Grove



Sacramento



Lodi



Salinas

I. ARCHITECTURAL DETAILS

1. Goal

To provide shadow and relief to flat surfaces and create visual interest through detailing consistent with the historical context of Old Town.

2. Standards

- a. The existing architecture in Old Town is generally more historic in the central portion of the SPA, and has more recent construction at the west and east sides. The following standards recognize this distinction.

1. West Old Town (Elk Grove-Florin Road to Gage Street) and East Old Town (Kent Street to Waterman Road) shall be seen and designed as transition zones with Historic Old Town (Gage to Kent Street) as the point of arrival. Figure 21 shows the three architecture districts. There shall be a consistency and cohesiveness throughout Old Town Elk Grove, however, building materials as well as the scale and detail of site furnishings shall be more ornate within Historic Old Town.
 2. Table 6 provides a list of 20 architectural details included in eight of the existing historic buildings in Old Town. Projects in Historic Old Town shall include a sufficient number of these or similar features expressed in a historic architectural style to ensure compatibility with nearby buildings.
 3. In West and East Old Town (see Figure 21), building architecture shall incorporate historic themes but avoid a simulated historic appearance that lacks historic architectural integrity.
 - b. Exterior pull-down or sliding security grilles are prohibited. Decorative fixed exterior security grilles may be approved on an individual basis only if the artistic intent contributes to the quality of the pedestrian experience.
 - c. Any special security device shall be located within the interior of the building. Courtyard security fencing / gates constructed of decorative wrought iron are encouraged.
 - d. New construction along the north side of Elk Grove Boulevard shall provide a walkway covering a portion of the sidewalk. These shall not appear to be continuous, but instead, provide a clear distinction between buildings by providing an actual gap, change in height, or change in architectural detailing.
 - e. All lighting on the exterior of the building, including freestanding light standards, shall be designed to prevent glare or reflect onto adjacent properties or public right-of-ways.
3. **Guidelines**
- a. Awnings, colonnades, arcades, and canopies of durable quality are encouraged. These elements provide shadow and relief to flat facades, further enhance recessed entries, and provide protection from the weather.
 - b. Decorative lighting elements are encouraged as a component of the overall design.
 - c. Outdoor furniture and fixtures should be compatible with the project architecture and the character of Old Town Elk Grove and should be carefully considered as integral elements of the landscape.
 - d. Lighting should be used to enhance forms, provide relief and should not be used to illuminate entire building faces, creating a "billboard" effect. Lighting should focus attention to key architectural and landscape architectural elements as well as unique focal points in the landscape.
 - e. Lighting should be subtle and used for safety and directional signage. Lighting should not be overpowering nor glaring.

4. **Example**

Table 6 and Figure 22 illustrate specific architectural details from eight historic buildings in Old Town Elk Grove.

Figure 21 – Architecture Districts

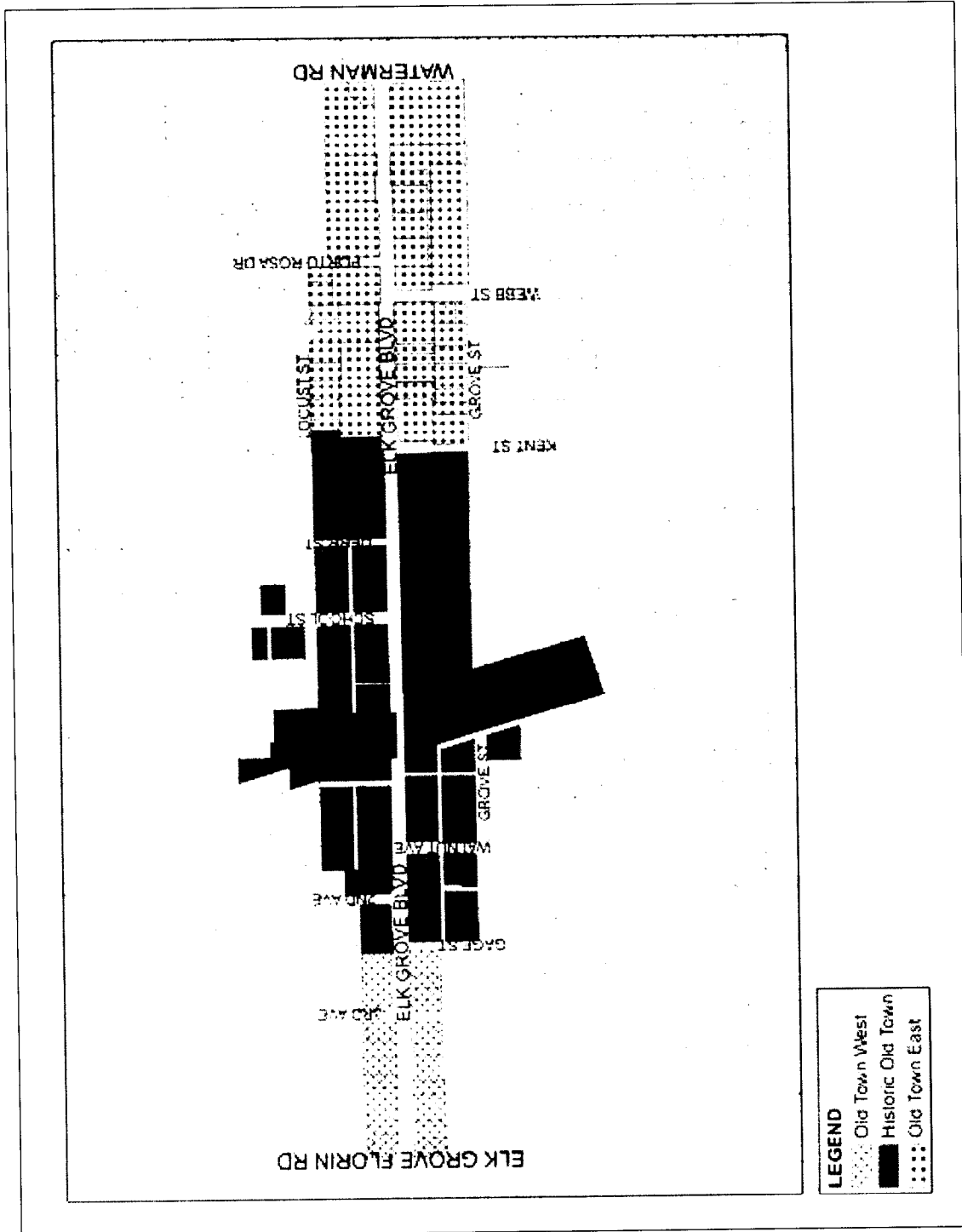


Table 6 – Architectural Details								
	A. Brewery	B. IOOF Building	C. Bob's Bar	D. The Elm	E. Ehrhardt /Rhoades	F. Mercantile	G. Multi-Tenant	H. Foulks / Graham
Decorative iron work								
Undulating parapet wall								
Tall, narrow rectangular windows								
Recessed windows with prominent sills								
Ornate door hardware								
Consistent color scheme (building versus windows and doors)								
Gutters incorporated into architecture								
Emphasis on symmetry in design								
Building details wrap around sides								
Articulation of front façade through raised or recessed architectural features								
Traditional double doors								
Storefront windows								
Prominent eaves								
Entry from corner of building								
Front porch								
Bay windows								
Corbels								
Decorative patterns in brick work								
Building signage reflects building architecture								
Recessed building entrances								
Note – Figure 22 provides photographs of each of the buildings noted above.								

Figure 22 – Architectural Details



A. Elk Grove Brewery



B. IOOF Building

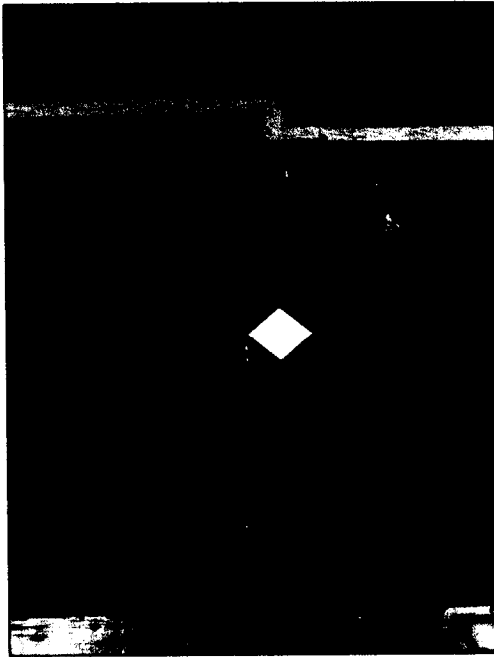


C. Bob's Bar

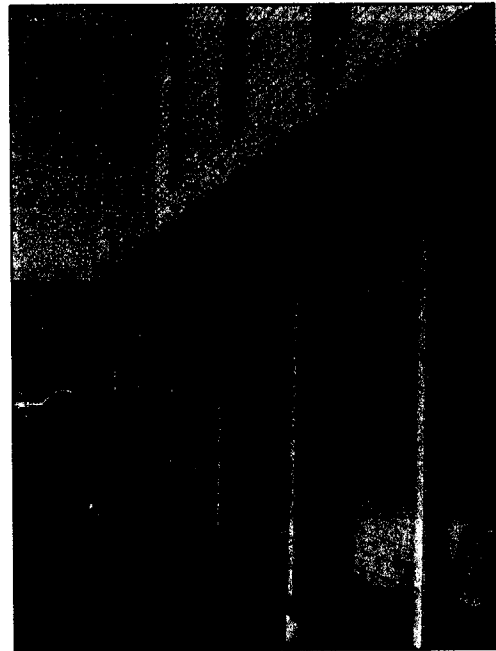


D. The Elm

Figure 22 – Architectural Details (continued)



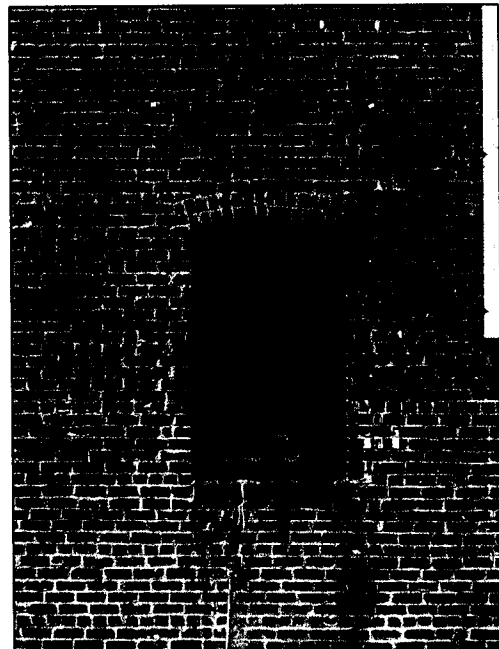
E. Detail of
Ehrhardt / Rhoades Building
(Elk Grove Meat Service)



F. Mercantile Building



G. Multi-Tenant Building
(South side of Elk Grove Boulevard)



H. Detail of
Foulks / Gramm Building

J. **ROOFING**

1. **Goal**

To ensure that roofs in new construction are consistent with the historic styles represented in Old Town Elk Grove and that they adequately shield roof top equipment.

2. **Standards**

- a. Roof designs shall conceal and screen rooftop equipment, vents, access doors, etc., from all four elevations from the pedestrian and adjacent upper building floor perspective.
- b. Design of the roof shall be consistent with the building use, style and location. It is an integral component of the building design.
- c. Parapets shall surround all "low slope" commercial roofs. The parapets shall be detailed to enhance the overall building design.
- d. Roofs shall not drain over public sidewalks, extensions of public sidewalks on private property, or "plaza spaces" in front of buildings.

3. **Guidelines**

- a. Buildings should have varied and interesting roof shapes and parapet lines that respond to the local traditional vernacular.
- b. Roof materials exposed to street frontages in residential neighborhoods should complement the adjacent residential buildings.

4. **Example**

The eight existing historic buildings referenced in Figure 22 provide examples of historic roofing options.

Appendix 1

A Guide to Color, Styles and Architectural Periods California Paints



A GUIDE TO COLOR, STYLES AND ARCHITECTURAL PERIODS

This guide provides general descriptions of the architectural styles of homes and buildings found across America. There are overlapping brackets of time and many interior and exterior colors, used interchangeably, were popular in more than one era.

These descriptions and color lists serve as a springboard to what is possible when painting a building's exterior, trim, interior walls and floors as well as details like accents, decorative stenciling and overlays.

Using this guide and the *Historic Colors of America*, homeowners and professionals can create the effect of a given historic period while applying variations to suit personal tastes.

Note: Technical information and assistance with paint analysis may be found by contacting a local historical society through your State Historic Preservation Office (SHPO).

California Paints' Historic Colors of America Color Guide
www.californiapaints.com

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Mid 1600's - 1780

COLONIAL

The early colonists arriving in the New World from Europe brought with them the prevailing architectural styles and building practices of their native countries. Most colonial dwellings built during the 1600's might be classified as folk houses if they did not so strongly reflect the distinctive traditions of their countries of origin. Old World practices persisted in Colonial empires well beyond the end of European rule.

Original Colonial styles were built primarily along the east coast, gulf coast and portions of the southwest. They were built before the era of industrialization, and unaltered examples have a characteristic "handmade" quality in such details as doors, windows, brickwork or siding. The most characteristic Colonial house is usually a one or two-story box, two rooms deep with symmetrical windows. Many examples of colonial houses survive today and are among the most popular styles of American building.

Shaker Red	English Barklett	Bold Bolection	Fausrip	Ginger Root	Rawhide
Cogswell Cedar	Tailor's Buff	Newport Indigo	Langdon Dove	Portobello	Chocolate
Pumpkin	Blonde Lace	Wainscot Green	Pettingill Sage	Tankard Gray	Quincy Granite
Knightley Straw	Meetinghouse Blue	Blue Winged Teal	Burnished Pewter	Otis Madeira	Vinal Haven
Asian Jute	Lexington Blue	Phillips Green	Milkweed	Liberty	Polished Pewter
Georgian Yellow	Standish Blue	Warren Tavern	Pitch Pine	Burnt Umber	Redrock Canyon
Furnhouse Ochre	Tory Blue	Seyward Pine	Nantucket	Wooden Nutmeg	Wooly Thyme

1780 - 1830

FEDERAL

The federal style was the dominant style of the new Republic. During this period the population tripled in size and expanded to the west and south. The style was mostly concentrated in prosperous port cities of the eastern seaboard in Massachusetts, Rhode Island, Maine, New Hampshire, Pennsylvania, New York, South Carolina and Georgia. Diversity of spatial planning found in interiors of the period reflected the style of Robert Adam, the gifted English architect who also popularized design elements such as swags, garlands and urns.

Symmetry, lightness and delicacy characterize the Federal or Adam style. One of the earliest examples of this style was the ceiling in the Mount Vernon dining room, executed for George Washington in 1775. In general, Federal houses may be rectilinear and boxlike, with perhaps an elliptical fanlight over the front door and sidelights flanking the door. Door trim may include thin columns or pilasters and curved or octagonal projections may reveal the shape of interior rooms. Also characteristic are curving steps and windows recessed within arches. The roof is often concealed behind a balustrade.

Stagoneech	Barrett Quince	Lucinda	Bristol Green	Wild Oats	Pettingill Sage
India Trade	York Bisque	Bullfinch Blue	Longfellow	Parsnip	Burnt Umber
Pumpkin	Lynnan Camellia	Citadel Blue	Viscaya	Langdon Dove	Wooden Nutmeg
Knightley Straw	Woodstock Rose	Meetinghouse Blue	Green Bonnet	Jackson Antique	Quincy Granite
Asian Jute	Mountain Laurel	Tory Blue	Wainscot Green	Pielips Putty	Vinal Haven
Georgian Yellow	Rundlet Peach	Amella	Grasshopper	Bayberry Wax	Curry
Furnhouse Ochre	Tudor Ice	Hls. Morning Dew	Boardman	Sandy Bluff	Rain Barrel
English Barklett	Appleton	Coral Springs	Jewett White	Flaxen Field	

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GREEK REVIVAL

1825 - 1855

The Greek Revival period began and ended in this country with public buildings built in Philadelphia. One of the most familiar icons of American architecture is the full-columned Greek Revival mansion of the southern states with its large veranda or living porch. The front-gabled house was popularized in the early nineteenth century and became the predominant form of urban houses in the northeast and Midwest well into the twentieth century.

The classical temple form with a portico across the entire front and the roof ridge running from front to back is employed for buildings of all kinds and sizes including cottages. Dormers are rare and roofs are generally gabled or of low pitch. The front door is typically surrounded by narrow sidelights with a row of transoms lights above. The most common types of ornament are the aubricorn and the Greek fret, wide pilasters and deep, heavy cornices. Wooden buildings were invariably painted white.

Danish Pine

Canyon Gold

Amish Green

Jewett White

VICTORIAN

1840 - 1900

The styles that were popular during the long reign of Britain's Queen Victoria are generally referred to as "Victorian". Growth of railroads and industrialization led to changes in mass production and shipping of house components, while the development of mechanized saws and lathes led to a profusion of wooden ornament. The extravagant use of complex shapes and elaborate detailing are clearly reflected in these trimmick houses.

Late Victorian styles of this period, also known as "Stick" and "Queen Ann", became intertwined and tend to overlap each other. Characteristics such as multicolored walls, asymmetrical facades, and steeply pitched roofs are common features. Dwellings were built with every conceivable type of trim including wooden lacework, patterned shingles, porches and towers with ornate roofs. Roofs are often complex with cross gables, conical turrets, dormers and decorative brackets beneath eaves. Finials and crestings were frequently used to decorate the roof ridges.

Beechroot
Madder
Covered Bridge
Alber Till
Flowering Chestnut
Roseland
Codsman Claret
Stagecoach
Richardson Brick
Portsmouth Splice
Climacoline
Pumpkin

Knighley Straw
Azalea Jute
Georgan Yellow
Goldenrod
Farmhouse Ochre
English Bartlett
Gable Green
Tailor's Buff
Blonde Lace
Robin's Egg
Glacier Bay
China Aster

Biloxi Blue
Bowen Blue
Muted Mulberry
Concord Grape
Plum Island
Cottage Green
Marret Apple
Whispering Willow
Brookside
Veranda Blue
Warren Tavern
Hazelwood

Newbury Moss
Pebblene
Amish Green
Balze
Godsey Green
Pointed Fir
Branite Spruce
Winter Balsam
Moss Glean
Seyward Pine
Pettingill Sage
Sturgis Gray

Winter Meadow
Coastal Sand
Britches
Toffee
Ginger Root
Maple
Bean Pot
Palemino
Brownstone
Burnt Umber
Hickory Nut
Wooden Nutmeg
Bargeboard Brown
Fieldstone
Vermont Slate
Curry
Redrock Canyon
Cummings Oak
Wooley Thyme

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1900 - 1940

COLONIAL REVIVAL

This was the dominant style for domestic building throughout the country during the first half of this century. Early examples of Colonial Revival buildings were rarely historically correct copies, but rather free interpretations inspired by colonial precedents. Pure copies of colonial houses are far less common than are eclectic mixtures.

Features commonly identified with Colonial Revival houses include a balanced facade, front doorways with sidelights, fanlights, crown moldings and pediments. They are typically accentuated with pilasters, porticos or columns to emphasize the front entrance. Windows are normally symmetrically balanced with double hung sashes and multiple panes in one or both sashes. Roofs may be hipped, side-gabled, center-gabled or gambrel style.

Codman Claret	Lucinda	Seal Blue	McVille	Yarmouth Oyster	Vinal Haven
Andover Cream	Bullfinch Blue	Volrite	Venetian Glass	Persuip	Monument Gray
Pale Organza	Emily	Asher Benjamin	Newbury Moss	Langdon Dove	Fieldstone
Emma	Pottsmouth Blue	Beaufort Aubergine	Gedney Green	Portobello	Groputus Gray
Lady Banksia	Rocky Hill	Hawthorne	Pointed Fir	Hitching Post	
Joncail	Winter Harbor	Ellise	Jewett White	Tyson Taupe	
Appleton	Saxon Blue	Cottage Green	Plymouth Beige	Quibney Granite	

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Two Main Street
Gloucester, MA 01930
Subscriptions: (800) 234-3797, Back Issues: (508) 281-8803

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Brooklyn, NY 11217
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