

RESOLUTION NO. ZA-2024-06

JUNE 17, 2024

**A RESOLUTION OF THE CITY OF ELK GROVE ZONING ADMINISTRATOR
FINDING THE PROJECT EXEMPT FROM CEQA PURSUANT TO PUBLIC
RESOURCES CODE SECTION 21080(b)(1), GOVERNMENT CODE SECTION
65913.4, AND STATE CEQA GUIDELINES SECTION 15268, AND APPROVING
A MINOR DESIGN REVIEW (SB 35) AND DENSITY BONUS WITH REDUCED
PARKING AND CONCESSIONS/INCENTIVES
FOR THE**

**CORAL BLOSSOM APARTMENTS
PROJECT NO. PLNG24-011
8484 ELK GROVE-FLORIN ROAD
APN: 115-0180-013**

WHEREAS, the Development Services Department of the City of Elk Grove (the "City") received an application submitted on March 29, 2024, from Excelerate Housing Group, LLC (the "Applicant") requesting a Minor Design Review (Senate Bill 35) and Density Bonus with reduced parking and concessions/incentives for Coral Blossom Apartments (the "Project"); and

WHEREAS, the proposed Project is located on real property in the incorporated portions of the City more particularly described as APN 115-0180-013; and

WHEREAS, the Development Services Department considered the Project request pursuant to the Elk Grove General Plan, the Elk Grove Municipal Code (EGMC) Title 23 (Zoning), Title 22 (Land Development), the Elk Grove Design Guidelines and all other applicable state and local regulations; and

WHEREAS, the Zoning Administrator of the City (the "Zoning Administrator") held a duly-noticed public hearing on June 17, 2024, as authorized by law to consider all of the information presented by staff, information presented by the Applicant, and public testimony presented in writing and at the meeting,

NOW, THEREFORE, BE IT RESOLVED, no environmental review under the California Environmental Quality Act ("CEQA") is necessary for the Coral Blossom Apartments Project (PLNG24-011) pursuant to Public Resources Code Section 21080(b)(1), Government Code Section 65913.4, and State CEQA Guidelines Section 15268 (Ministerial Projects) based upon the following findings:

CEQA

Finding: The Project is exempt from CEQA review pursuant to Public Resources Code Section 21080(b)(1), Government Code Section 65913.4, and State CEQA Guidelines Section 15268.

Evidence: Under state law, approval of the Project is considered ministerial (as further described below) and not subject to review under CEQA (see Pub. Res. Code § 21080(b)(1); Gov. Code § 65913.4; CEQA Guidelines, § 15268.) Therefore, the Project is exempt from CEQA and no further environmental review is required.

AND, BE IT FURTHER RESOLVED, that the Zoning Administrator hereby approves the density bonus to allow an 80% increase to exceed the 30 unit per acre maximum density allowance and concessions/incentives granting relief from General Plan and Zoning Code requirements for the Project; reduced parking pursuant to Government Code Section 65915(p); and to allow for up to 81 residential units at the Project site based upon the following findings:

Density Bonus

Finding #1: The Project is eligible for a Density Bonus per the requirements of Elk Grove Municipal Code Chapter 23.50.

Evidence #1: Pursuant to EGMC Chapter 23.50, the City shall grant a Density Bonus, with concessions/incentives, when the Applicant agrees to construct a residential development that contains at least 10 percent of the total units of a housing development for lower-income households. One hundred percent (100%) of the Project units, exclusive of the manager's unit, are proposed as affordable supporting housing units meeting all applicable affordability requirements. Consistent with EGMC Section 23.50.030(H), the Project will be subject to a regulatory agreement with the City to ensure the continued affordability of all target units. Therefore, the Project is eligible for a Density Bonus of 80%, which increases the maximum density for the Project to 117 units. The Project complies with this increased density as it is an 81-unit complex for supportive housing. Pursuant to EGMC Section 23.50.070(B), the City is required to grant the density bonus because the Project meets the requirements of EGMC Chapter 23.50 and Government Code Section 65915.

Concessions/Incentives and Reduced Parking

Finding #2: The Project is eligible for the requested concessions/incentives and reduced parking per the requirements of the Elk Grove Municipal Code Chapter 23.50 (Density Bonus) and Government Code Section 65915.

Evidence #2: Pursuant to EGMC Chapter 23.50 and Government Code Section 65915, the Project is eligible for reduced parking plus five concessions/incentives.

The Project is eligible for reduced parking pursuant to Government Code Section 65915(p)(3) because it is supportive housing and located within ½ of mile from a public and active Regional Transit bus line. Specifically, Government Code Section 65915(p)(3) prohibits the City from imposing any minimum vehicular parking requirements. Therefore, the reduced parking requested for the Project is approved. Reduced parking pursuant to Government Code Section 65915(p) neither reduces nor increases the number of concessions or incentives to which the applicant is entitled.

In addition to reduced parking, the Project is requesting, and is eligible for, the following: (1) a concession/incentive to relocate the 10-foot landscape buffer and required tree plantings spacing on the south side to be adjacent to the building (instead of along the property line); (2) a concession/incentive for reduction of south side yard setback for the 3rd floor from 40 feet to 33 feet; (3) a concession/incentive for reduction in north side yard setback from 15 feet to 10 feet; and (4) concession/incentive for relief from General Plan and EGMC 23.63.020 requirements to place all utilities underground.

The requested concessions/incentives are required in order to provide for affordable housing costs reductions, as the units could not feasibly be constructed at the density required by the Housing Element without the proposed reductions in setbacks, landscape buffer and underground utilities. The concessions/incentives would not have a specific adverse impact upon public health and safety or on any real property listed in the California Register of Historical Resources. The Project proposes the following unit counts: 80, 1-bedroom units; and one, 2-bedroom manager's unit. The Project will have a reduction in setbacks on the north

and south sides of the building with the setback on the south side on the upper level being reduced from 40 feet to 33 feet. In addition, the south side will have a landscape buffer along the building instead of along the south property line. Even with the reduction of setback of the building, there will be a separation from the nearest residential neighborhood to the south by more than 30 feet with landscaping and a drive aisle serving as a buffer. The proposed concessions/incentives are not contrary to any state or federal law. Pursuant to Government Code Section 65915(d) and EGMC 23.50.070(C), and unless supporting contrary findings can be made, the City is required to grant the concessions/incentives to qualifying affordable housing projects such as the subject Project. The Zoning Administrator concludes that the granting of the requested concessions/incentives is appropriate here. Therefore, the requested concessions/incentives are approved.

AND, BE IT FURTHER RESOLVED, that the Zoning Administrator finds that the Project complies with all applicable objective zoning standards and objective design review standards, with the above-referenced approved reduced parking concessions/incentives, therefore, finding the Project eligible for SB 35 ministerial approval, and hereby approving the Project, as described in Exhibit A and illustrated in Exhibit B, subject to the conditions of approval in Exhibit C (all incorporated herein by this reference), based upon the following findings:

Senate Bill 35

Finding: The proposed Project is eligible for streamlined ministerial approval pursuant to Senate Bill 35.

Evidence: The Project has been reviewed and it has been determined that it complies with the eligibility criteria for the streamlined ministerial approval process pursuant to Government Code Section 65913.4, which includes compliance with the City's objective standards. The Applicant is requesting a density bonus with concessions/incentives for reduction in the City's development standards and undergrounding utilities. The Project complies with the City's objective standards for lighting, landscaping, parking, and design guidelines. A detailed analysis of compliance with the City's objective standards is set forth in the staff report accompanying this Resolution.

The Project is a 100% affordable supportive housing project that will have more than two thirds of residential located in a high-density residential zoning district. At least 75% of the perimeter of the Project site adjoins parcels that are developed with urban uses. The Project will pay prevailing wage and will comply with any other applicable labor standards as required by state law. A condition of approval has been added to the Project requiring the Applicant to submit to the City all applicable labor standard certifications required by Government Code section 65913.4 prior to approval of a building permit(s). The Project site is not located in any of the following areas: wetlands, earthquake fault zone, high fire hazard zone, hazardous waste site, a site that will require demolition of housing or a historic building, FEMA special flood hazard area or regulatory floodway, protected species habitat, lands under conservation easement, or a site governed by the Mobile Home Residency law, Recreational Vehicle Park Occupancy Law, Mobilehome Parks Act, or the Special Occupancy Parks Act.

Minor Design Review

Finding #1: The proposed project is consistent with the objectives of the General Plan, complies with applicable Zoning regulations (with the application of a Density Bonus with Concession/Incentives), Elk Grove Design Guidelines, and Improvement Standards adopted by the City.

Evidence #1: The Project requires approval of a Minor Design Review for an 81-unit residential development with associated courtyards, parking, and landscape area. The Project plans have been reviewed in accordance with the General Plan, Zoning Code, and Elk Grove

Design Guidelines. With the application of the requested Density Bonus with Concessions/Incentives, all applicable objective development standards have been met. Pursuant to state law, the Project is not required to comply with the City's non-objective development standards. The Project complies with the development standards of Title 23, Zoning, including setbacks, height limits, landscaping requirements, and bicycle parking requirements as detailed in Table 2 of the Project's staff report. The Project design includes a variety of building materials; including stucco and wood finishes. The Project also includes a large number of windows, multiple stepbacks, and a flat roof. The Project will be designed with structural and spatial variety especially along the front façade, the street corners will have a change of height and massing with the sides having a break with windows and entries with stairwells. These architectural details meet the Elk Grove Design Guidelines. The Project incorporates common open space areas. The site is identified in the Housing Element as Site L-14 and the proposed Project provides 81 of the identified 110 units. The Applicant is requesting a density bonus for the 100% affordable housing project with concessions/incentives for reduction in setbacks on the north and south side yards, for a relocation of the landscape buffer and tree spacing on the south side of the property adjacent to the building instead of along the property line and for the undergrounding of utilities as a concession/incentive.

Finding #2: The proposed architecture, site design, and landscape are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and community.

Evidence #2: All objective development standards have been met. Pursuant to state law, the Project is not required to comply with the City's non-objective development standards. Nonetheless, the site plan, building elevations, and landscape plans have been reviewed in accordance with the Elk Grove Design Guidelines for multi-unit residential development and it is concluded that the architecture and site planning meet all applicable design requirements because the Project incorporates a variety of building materials, including multiple colors of stucco and wood finishes. The Project incorporates common open space areas with landscaping proposed throughout the property.

Finding #3: The architecture, including the character, scale, and quality of the design, relationship with the site and other buildings, building materials, colors, screening of exterior appurtenances, exterior lighting and signage and similar elements establishes a clear design concept and is compatible with the character of buildings on adjoining and nearby properties.

Evidence #3: The proposed Project has been designed consistent with the objective requirements of the Elk Grove Design Guidelines for multi-unit residential development. Pursuant to state law, the Project is not required to comply with the City's non-objective development standards. Nonetheless, the Project includes a variety of building materials such as multiple colors of stucco and wood finishes. The height of the building is 39 feet, 6 inches, which complies with the 40-foot height limit in the HDR zone.

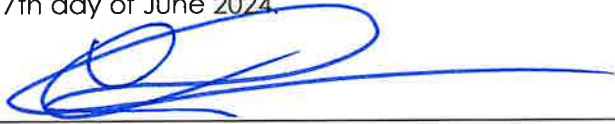
Finding #4: The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.

Evidence #4: All objective development standards have been met. The Project site will have two vehicular access points; one off Elk Grove-Florin Road and the other through the northern property, which will connect back to Elk Grove-Florin Road (this connection will be emergency vehicle access only). There will be direct pedestrian access from the street to the apartment complex. The proposal also includes a total of 92 short-term and long-term bicycle parking spaces. The site is also in close proximity to existing bus stops on Elk Grove-Florin Road and Calvine Road.

Finding #5: For residential subdivision design review applications, the residential subdivision is well integrated with the City's street network, creates unique neighborhood environments, reflects traditional architectural styles, and establishes a pedestrian friendly environment.

Evidence #5: The Project is not a residential subdivision; therefore, this finding is not applicable.

The foregoing Resolution of the City was passed and adopted by the Zoning Administrator on the 17th day of June 2024.



Christopher Jordan, Zoning Administrator
City of Elk Grove, State of California

June 17, 2024

Date

ATTEST:



Sandy Kyles, Secretary

Exhibit A
Coral Blossom Apartments (PLNG24-011)
Project Description

PROJECT DESCRIPTION

The proposed Coral Blossom Apartments Project consists of a Minor Design Review for a new 100% affordable housing multi-unit residential apartment complex with 81 units and associated site improvements including parking, lighting, and landscaping. The Project will have one, 3-story building as well as indoor and outdoor amenities including a community room, conference room, courtyards, and lawn areas. The Project request also includes a Density Bonus with reduced parking and concessions/incentives for (1) relief from the requirement for undergrounding utilities (2) reduction in landscape buffer/tree spacing and (3) reduction in side yard setbacks on the south and north sides.

The Project was submitted under Senate Bill 35 (SB 35), a state law which provides for streamlined, ministerial review and approval of qualifying housing development projects.

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PROJECT PLANS

See next page

CITY OF ELK GROVE P.D. RECOMMENDATIONS

1. LIGHTING OF THE PARKING LOT SHALL BE A MIN AVERAGE OF 3.0 FOOT CANDLES.
2. LIGHTING UP OF THE COMMON MAILBOX AREA SHALL BE 10.0 FOOT CANDLES.

SMUD C.O.A.

1. SMUD HAS EXISTING UNDERGROUND 2KV FACILITIES NEAR THE SUBJECT PROPERTY. THE APPLICANT SHALL BE RESPONSIBLE FOR MAINTAINING ALL CALIFORNIA AND STATE OF CALIFORNIA PUBLIC UTILITIES COMMISSION GENERAL ORDER NO. 108 SAFETY CLEARANCES TO THE REQUIRED CLEARANCES CANNOT BE MAINTAINED. THE APPLICANT SHALL BE RESPONSIBLE FOR THE COST OF ANY NECESSARY FUTURE SMUD FACILITIES LOCATED ON THE APPLICANT'S PROPERTY SHALL REQUIRE A DEDICATED SMUD PERFORMING WORK ON THE APPLICANT'S PROPERTY.
3. IN THE EVENT THE APPLICANT REQUIRES THE RELOCATION OR THE SUBJECT PROPERTY, THE APPLICANT SHALL COORDINATE WITH SMUD. THE APPLICANT SHALL BE RESPONSIBLE FOR THE SMUD RESERVES THE RIGHT TO USE ANY PORTION OF ITS EASEMENTS ON OR ADJACENT TO THE SUBJECT PROPERTY FOR ANY DAMAGES TO THE DEVELOPED PROPERTY WITHIN SAID EASEMENT THAT UNREASONABLY INTERFERES WITH THOSE EASEMENTS.
5. THE APPLICANT SHALL NOT PLACE ANY BUILDING FOUNDATIONS WITHIN 5- FEET OF ANY SMUD TRENCH TO MAINTAIN ADEQUATE TRENCH INTEGRITY. THE APPLICANT SHALL VERIFY SPECIFIC TRENCH DIMENSIONS FOR OTHER UTILITIES (E.G. GAS, TELEPHONE, ETC)
6. THE APPLICANT SHALL COMPLY WITH SMUD SITING REQUIREMENTS (CONDUCTORS), INFORMATION REGARDING SMUD SITING REQUIREMENTS CAN BE FOUND AT: www.smud.com/REBATES/DESIGN-AND-CONSTRUCTION-SERVICES
7. THE APPLICANT SHALL DEDICATE A 12.5 FT PUBLIC UTILITY RIGHTS-OF-WAYS. (SEE SITE PLAN A.08 FOR LOCATION) AND APPURTENANCES ADJACENT TO ALL PUBLIC STREET AND EGRESS EASEMENT (AND 16 FT ADJACENT THERE TO) AS A PUBLIC UTILITY EASEMENT FOR (OVERHEAD AND) UNDERGROUND FACILITIES AND APPURTENANCES. ALL ACCESS ROADS SHALL BE MINIMUM SMUD REQUIREMENTS FOR ACCESS ROADS
8. THE APPLICANT SHALL DEDICATE AND PROVIDE ALL-WEATHER UNDERGROUND FACILITIES AND APPURTENANCES TO 26,000 POUNDS AT A MINIMUM (A) THE DRIVABLE SURFACE SHALL BE 20 FT WIDE, AND (B) ALL SMUD UNDERGROUND FACILITIES AND APPURTENANCES SHALL BE WITHIN 15 FT FROM THE DRIVABLE SURFACE.

SACRAMENTO COUNTY WATER AGENCY C.O.A.

2. PROVIDE SINGLE PUBLIC WATER SERVICE CONNECTION FROM THE STREET TO THE BUILDING. MULTIPLE SEPARATE WATER CONNECTIONS WILL NOT BE ALLOWED.
4. ABANDONED WELL WILL BE ADDRESSED BY THE CITY OF ELK GROVE.

ABBREVIATIONS

ABV	ABOVE FINISH FLOOR	IF	INDIVIDUAL
AD	ALTERNATE	INSUL	INSULATION
AMR	ALTERNATE MEANS	INT	INTERIOR
AMR	ALTERNATE MEANS AND METHOD REVIEW	JAN	JANITOR
ALUM	ALUMINUM	JT	JOINT
@	AT	KIT	KITCHEN
BM	BEAM	LANDSCAPE	LANDSCAPE
BN	BENCH	LOC	LOCATION
B.O.	BOTTOM OF	M.R.	MACHINE ROOM
BLDG	BUILDING	MFR	MANUFACTURER
BUR	BUILT UP ROOF	MAX	MAXIMUM
CLNG	CEILING	MCH	MECHANICAL
C.L.	CENTER LINE	MIL	METAL
CLR	CLEAR	MIN	MINIMUM
CONC	CONCRETE	NEW	NEW
CMU	CONCRETE MASONRY UNIT	NOT APPLICABLE	NOT APPLICABLE
C.O.A.	CONDITIONS OF CONTRACT	N/A	NOT IN CONTRACT
CONF	CONFERENCE	ON CENTER	ON CENTER
CONST	CONSTRUCTION	OPRABLE	OPERABLE
CONTS	CONTINUOUS	OR APPROVED EQUAL	OR APPROVED EQUAL
CTCI	CONTRACTOR INSTALLED	OWNER FURNISHED CONTRACTOR	OWNER FURNISHED CONTRACTOR
CJ	CONTROL JOINT	PTD	PAINTED
CCSD	COSMETIC	PR	PANEL
	COMMUNITY SERVICE DEPARTMENT	P.NL	PATH OF TRAVEL
D.G.	DECOMPOSED	P.O.T.	POUR-IN-PLACE
DB	DESIGN BUILD	P.L.C.	POUR-IN-PLACE
DET	DETAIL	P.M.	PROPERTY LINE
DIM	DIMENSION	P.M.	PROPERTY LINE
DWH	DISABLED ACCESS	RAD	RADIUS
DR	DR	RE	REFER TO
DR	DR	REQ	REQUIRED
DR	DR	R.O.W.	RIGHT OF WAY
DS	DOWNSPOUT	RF	ROOF
DWS	DRAWINGS	R.F.NG	ROUGH OPENING
EA	EACH	R.O.	ROUGH OPENING
EVS	ELECTRICAL	R.O.	ROUGH OPENING
ELEC	ELECTRICAL	R.O.	ROUGH OPENING
EL	ELEVATION	SECT	SECTION
(ELEV)	ELEVATION	SHR	SHOWER
E.V.A.	EMERGENCY VEHICLE EQUAL TO	SIM	SIMILAR
EQ	EQUAL TO	S.S.	SPERIFICATIONS
EQ	EQUAL TO	S.S.	SPERIFICATIONS
(E)	EXISTING	STL	STEEL
EXT	EXTERIOR	STOR	STORAGE
F.O.C.	FACE OF CONCRETE	S.D.	STORM DRAIN
F.O.P.	FACE OF PLYWOOD	STRUCT	STRUCTURAL
F.N.S.	FINISH STUD	STRUCT	STRUCTURE
FEL	FINISH FLOOR LEVEL	THRU	THROUGH
FEC	FIRE EXTINGUISHER CABINET	T.O	TOP OF
FH	FIRE HYDRANT	TYP	TYPICAL
FR	FLOOR	UFAS	UNIFORM FEDERAL STANDARDS
FLR	FLOOR	UN.O.	UNLESS NOTED OTHERWISE
FLRG	FLOURESCENT	URNL	URNAL
FLOOR	FLOURESCENT	WR	WASHER
FRMG	FRAMING	VERB	VERIFY
GALV	GALVANIZED	VIF	VERIFY IN FIELD
GEO	GEOTECHNICAL	WID	WASHER DRYER
GLAZ	GLAZING	W.P.	WATERPROOFING
GYP. BD.	GYP. BOARD	W/DW	WINDOW
H.C.	HOLLOW CORE	W/	WITH
H.H.	HOLLOW CORE	W/D	WOOD
HW	HOT WATER	W/D	WOOD

SHEET INDEX

SHEET #	SHEET TITLE
A0.01	ARCHITECTURAL
A0.02	MECHANICAL
A0.03	STRUCTURAL
A0.04	LANDSCAPE
A0.05	FINISH
A0.06	MECHANICAL
A0.07	STRUCTURAL
A0.08	LANDSCAPE
A0.09	FINISH
A0.10	MECHANICAL
A0.11	STRUCTURAL
A0.12	LANDSCAPE
A0.13	FINISH
A0.14	MECHANICAL
A0.15	STRUCTURAL
A0.16	LANDSCAPE
A0.17	FINISH
A0.18	MECHANICAL
A0.19	STRUCTURAL
A0.20	LANDSCAPE
A0.21	FINISH
A0.22	MECHANICAL
A0.23	STRUCTURAL
A0.24	LANDSCAPE
A0.25	FINISH
A0.26	MECHANICAL
A0.27	STRUCTURAL
A0.28	LANDSCAPE
A0.29	FINISH
A0.30	MECHANICAL
A0.31	STRUCTURAL
A0.32	LANDSCAPE
A0.33	FINISH
A0.34	MECHANICAL
A0.35	STRUCTURAL
A0.36	LANDSCAPE
A0.37	FINISH
A0.38	MECHANICAL
A0.39	STRUCTURAL
A0.40	LANDSCAPE
A0.41	FINISH
A0.42	MECHANICAL
A0.43	STRUCTURAL
A0.44	LANDSCAPE
A0.45	FINISH
A0.46	MECHANICAL
A0.47	STRUCTURAL
A0.48	LANDSCAPE
A0.49	FINISH
A0.50	MECHANICAL
A0.51	STRUCTURAL
A0.52	LANDSCAPE
A0.53	FINISH
A0.54	MECHANICAL
A0.55	STRUCTURAL
A0.56	LANDSCAPE
A0.57	FINISH
A0.58	MECHANICAL
A0.59	STRUCTURAL
A0.60	LANDSCAPE
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A0.63	STRUCTURAL
A0.64	LANDSCAPE
A0.65	FINISH
A0.66	MECHANICAL
A0.67	STRUCTURAL
A0.68	LANDSCAPE
A0.69	FINISH
A0.70	MECHANICAL
A0.71	STRUCTURAL
A0.72	LANDSCAPE
A0.73	FINISH
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A0.79	STRUCTURAL
A0.80	LANDSCAPE
A0.81	FINISH
A0.82	MECHANICAL
A0.83	STRUCTURAL
A0.84	LANDSCAPE
A0.85	FINISH
A0.86	MECHANICAL
A0.87	STRUCTURAL
A0.88	LANDSCAPE
A0.89	FINISH
A0.90	MECHANICAL
A0.91	STRUCTURAL
A0.92	LANDSCAPE
A0.93	FINISH
A0.94	MECHANICAL
A0.95	STRUCTURAL
A0.96	LANDSCAPE
A0.97	FINISH
A0.98	MECHANICAL
A0.99	STRUCTURAL
A1.00	LANDSCAPE

SYMBOLS

Symbol	Room Name	Room Number	Room Area
(A)	GRID		
(150 SF)	ELEVATION MARKER		
(150 SF)	ELEVATION BULLET		
(150 SF)	SIGNAGE		
(150 SF)	SECTION MARKER		
(150 SF)	WALL TYPE		
(150 SF)	INTERIOR PLANTER MARKER		
(150 SF)	DETAIL MARKER		
(150 SF)	NORTH ARROW (PLAN NORTH)		
(150 SF)	REVISION DELTA		
(150 SF)	PROPERTY LINE		
(150 SF)	KEYNOTE MARKER		
(150 SF)	FLOOR FINISH SCHEDULE		
(150 SF)	FLOOR FINISH SCHEDULE		

* REQUIRE PORTABLE FIRE EXTINGUISHERS PER 2022 IBC SEC. 908. RATED 2A:10B AT A MIN. OF 75 A PART. FIRE EXTINGUISHERS SHALL BE RECESSED UNLESS NOTED OTHERWISE
 ** COMBO SMOKE/CARBON MONOXIDE DETECTOR PER 2022 IBC 429.6

ENTITLEMENT SET REVISION 1 2024-03-28
 ENTITLEMENT SET REVISION 1 2024-05-15

CORAL BLOSSOM APARTMENTS

8484 ELK GROVE FLORIN RD.
 ELK GROVE, CA 95724
 PROJECT NUMBER: 240010

SHEET TITLE: CORAL BLOSSOM APARTMENTS
 SHEET INDEX: 12" = 1'-0"
 DATE PRINTED: 5/15/2024

BROOKS SCARPA

3225 N. 130TH STREET
 HAYWARD, CA 94541
 510.559.9100

BROOKS + SCARPA ARCHITECTS INC.
 3225 N. 130TH STREET
 HAYWARD, CA 94541
 510.559.9100

A0.01

BUILDING MATERIALS

- 1. STUCCO, SAND SMOOTH FINISH - GRAY
7/3001 (S3) DOVE GRAY | PAREX USA
- 2. STUCCO, SAND SMOOTH FINISH - DARK GRAY, PAINTED
7/06315 BLACK POOL | DUNN EDWARDS
- 3. WOOD ACCENT SCREEN
7/HEAT TREATED PINE, ACCOYA, OR PARKLEX
7/06318 ORANGEVILLE | DUNN EDWARDS
- 4. STUCCO, SAND SMOOTH - CORAL, PAINTED
7/06315 ORANGEVILLE | DUNN EDWARDS
- 5. METAL
7/DARK GRAY ANODIZED ALUMINUM
- 6. WINDOW FRAME, VINYL
7/BLACK CAPSTOCK | MILGARD
- 7. METAL
7/PAINTED GRAY
- 8. METAL
7/PAINTED CORAL TO MATCH STUCCO
- 9. STAINED CEDAR PLANKS
7/TRANSLUCENT STAIN
- 10. PAVEMENT
7/CONCRETE

WINDOW SHADOW BOX
5. METAL
DARK GRAY ANODIZED ALUMINUM

STOREFRONT & GATE
5. METAL
DARK GRAY ANODIZED ALUMINUM

WINDOW FRAME
6. VINYL
BLACK CAPSTOCK | MILGARD

GUARDRAILS
7. PAINTED
GREY

GUARDRAILS
8. PAINTED
CORAL

SOLID WOOD PROPERTY WALL
9. STAINED CEDAR PLANKS
TRANSLUCENT STAIN

PAVEMENT
10. CONCRETE
EXPOSED AGGREGATE FINISH



METAL RAILING EXAMPLE



WOOD SCREEN EXAMPLE

GRAY STUCCO



1. STUCCO, SAND SMOOTH, INTEGRAL COLOR
3001 (S3) DOVE GRAY

DARK GRAY STUCCO



2. STUCCO, SAND SMOOTH, PAINTED
06315 BLACK POOL

WOOD SCREEN



3. WOOD ACCENT SCREEN
ACCOYA - TANNY

CORAL STUCCO



4. STUCCO, SAND SMOOTH, PAINTED
06315 ORANGEVILLE

SEE A4.00 FOR OVERALL ELEVATIONS AND BUILDING MATERIAL CALL OUTS.
NOTE: A MINIMUM OF TWO PRIMARY BUILDING MATERIALS OR COLORS ARE USED ON EACH ELEVATION PER ELX GROVE DESIGN GUIDELINES 4.00

ENTITLEMENT SET
ENTITLEMENT SET REVISION 1

2024-03-29
2024-05-15

CORAL BLOSSOM APARTMENTS

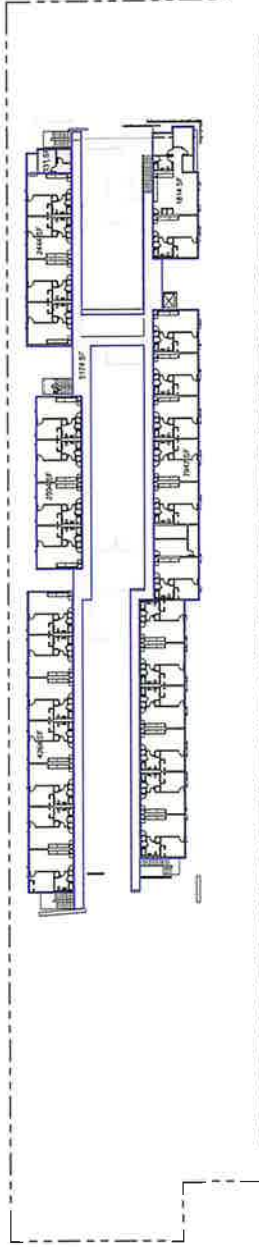
6484 ELK GROVE FLORIN RD
ELK GROVE, CA 95624
PROJECT NUMBER: 200718



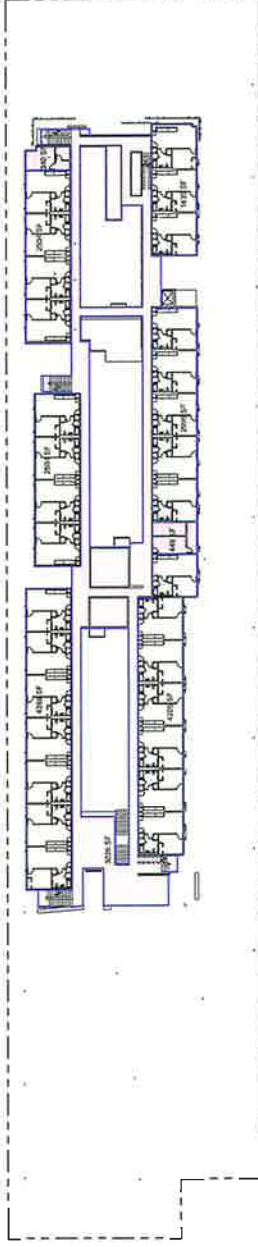
SHEET TITLE: MATERIALS & COLORS
SCALE:
DATE PRINTED: 5/15/2024
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HAYWARD, CA 94520
(415) 526-9400

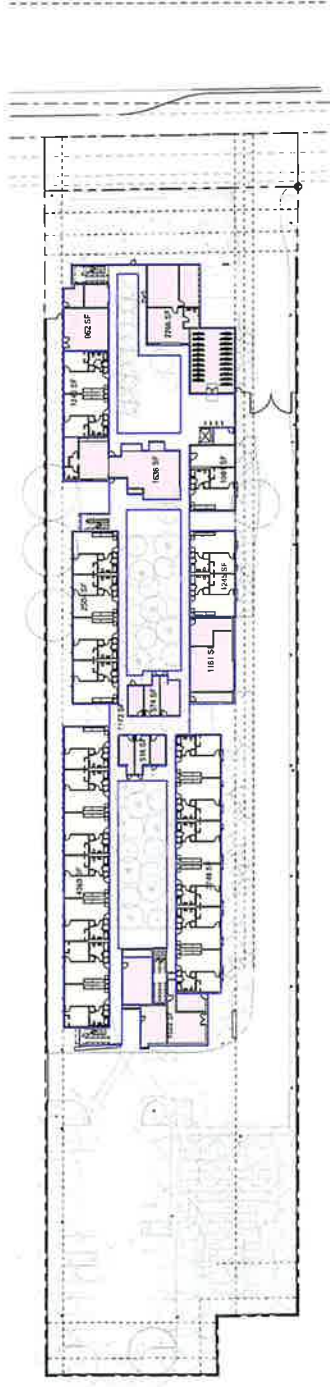
A0.06



03
THIRD FLOOR AREA
SCALE: 1/32" = 1'-0"



02
2ND FLOOR AREA
SCALE: 1/32" = 1'-0"



01
1ST FLOOR AREA
SCALE: 1/32" = 1'-0"

GROSS FLOOR AREA
TOTAL 82,923 SQ FT
GROSS RESIDENTIAL FLOOR AREA 51,579 SQ FT
GROSS NON-RESIDENTIAL FLOOR AREA 31,343 SQ FT

AREA	GROSS FLOOR AREA	AREA NAME
NON-RESIDENTIAL		
331 SF		NON-RESIDENTIAL
140 SF		NON-RESIDENTIAL
181 SF		NON-RESIDENTIAL
518 SF		NON-RESIDENTIAL
574 SF		NON-RESIDENTIAL
862 SF		NON-RESIDENTIAL
1181 SF		NON-RESIDENTIAL
1622 SF		NON-RESIDENTIAL
1939 SF		NON-RESIDENTIAL
2778 SF		NON-RESIDENTIAL
3779 SF		NON-RESIDENTIAL

TOTAL = 21574 SF

AREA	GROSS FLOOR AREA	AREA NAME
NON-RESIDENTIAL OUTDOOR (COVERED)		
5174 SF		NON-RESIDENTIAL OUTDOOR
7173 SF		NON-RESIDENTIAL OUTDOOR
9226 SF		NON-RESIDENTIAL OUTDOOR
1581 SF		RESIDENTIAL
1745 SF		RESIDENTIAL
1814 SF		RESIDENTIAL
1835 SF		RESIDENTIAL
2444 SF		RESIDENTIAL
2444 SF		RESIDENTIAL
2504 SF		RESIDENTIAL
2504 SF		RESIDENTIAL
2909 SF		RESIDENTIAL
3748 SF		RESIDENTIAL
4205 SF		RESIDENTIAL
4205 SF		RESIDENTIAL
4369 SF		RESIDENTIAL
4369 SF		RESIDENTIAL
7917 SF		RESIDENTIAL

TOTAL = 51592 SF
GRAND TOTAL = 82935 SF

GROSS FLOOR AREA LEGEND

- NON-RESIDENTIAL
- NON-RESIDENTIAL OUTDOOR (COVERED)
- RESIDENTIAL

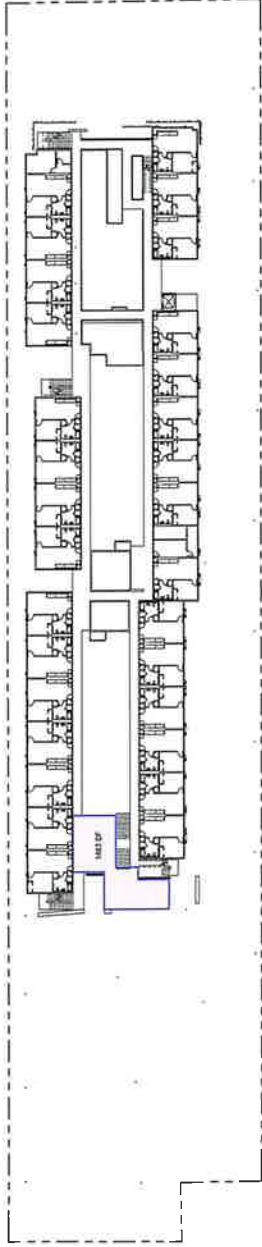
ENTITLEMENT SET
ENTITLEMENT SET REVISION 1
2024-03-28
2024-05-15

CORAL BLOSSOM APARTMENTS
8484 ELK GROVE FLORIN RD
ELK GROVE, CA 95624
PROJECT NUMBER: 240016

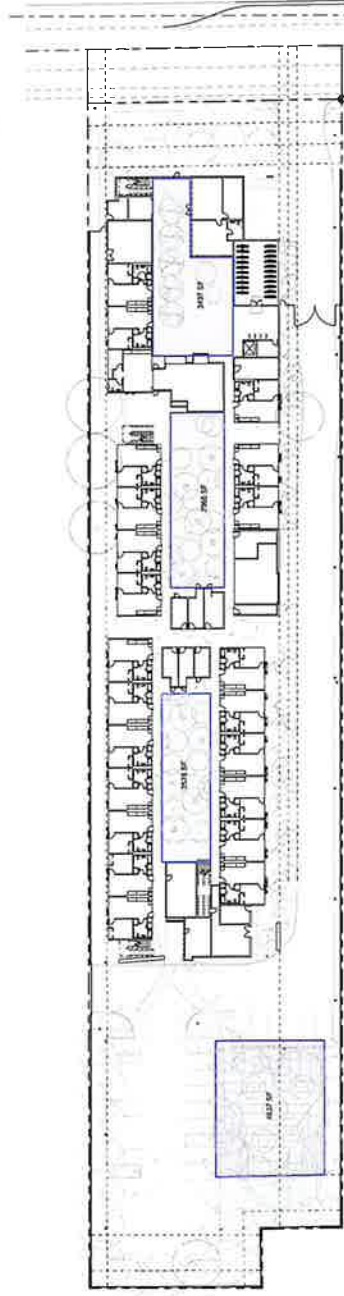
BROOKS SCARPA

SHEET TITLE: GROSS FLOOR AREA
SCALE: 1/32" = 1'-0"
DATE PRINTED: 3/15/2024
DESIGNED BY: JESSICA M. HARRIS
CHECKED BY: JESSICA M. HARRIS
DATE: 3/15/2024
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DO NOT SCALE DIMENSIONS FROM THIS DRAWING.
FOR FURTHER INFORMATION, CONTACT THE ARCHITECT.

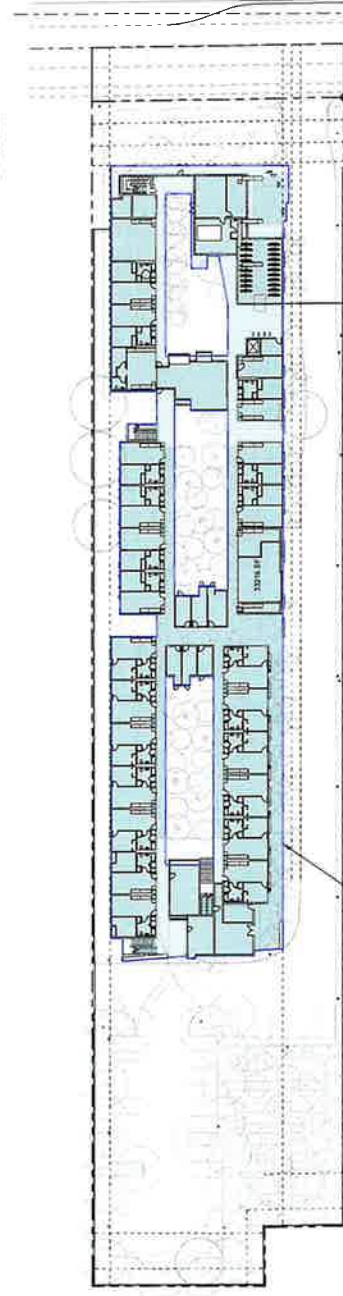
A0.07
BROOKS SCARPA ARCHITECTS, INC.
2000 J. L. LINDEN BLVD. SUITE 100
FOLSOM, CALIFORNIA 95630
(916) 439-8800



03



02



01

OPEN SPACE
REQUIRED OPEN SPACE: 81 UNITS x 80 SQ FT/UNIT = 6,480 SQ FT
6,480 SQ FT REQ'D < 15,088 SQ FT PROVIDED

AREA DESIGNATION	AREA
OPEN SPACE	1483 SF
OPEN SPACE	2576 SF
OPEN SPACE	1802 SF
OPEN SPACE	4832 SF
TOTAL	12693 SF

LOT COVERAGE:
50% MAX LOT COVERAGE FROM STRUCTURES ALLOWED
TOTAL LOT AREA: 2.17 ACRES = 94,525 SF
MAX LOT COVERAGE: 94,525 SF x 0.8 = 75,620 SF
75,620 SF ALLOWED > 33,216 SF PROVIDED

OPEN SPACE LEGEND

- OPEN SPACE
- LOT COVERAGE LEGEND
- COVERED LOT AREA

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ENTITLEMENT SET REVISION 1

2024-03-29
2024-05-15

CORAL BLOSSOM APARTMENTS

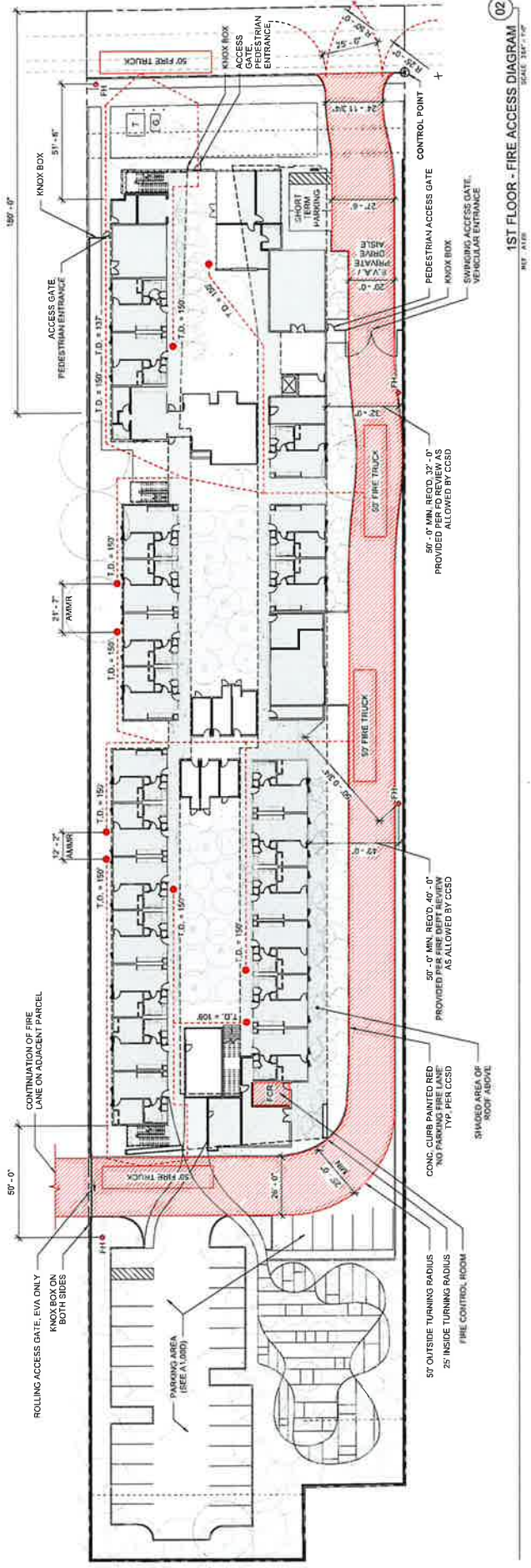
8484 ELK GROVE FLORIN RD
ELK GROVE, CA 95604
PROJECT NUMBER: 240919

BROOKS SCARPA

SHEET TITLE: OPEN SPACE CALCULATIONS & LOT COVERAGE
SCALE: 1/8" = 1'-0"
DATE PRINTED: 5/15/2024
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WIDDOWS + SCARPA ARCHITECTS, INC.
2220 W. 128TH STREET
MILWAUKEE, WI 53224-1005

A0.08



1ST FLOOR - FIRE ACCESS DIAGRAM

02

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2024-03-29
2024-05-15

CORAL BLOSSOM APARTMENTS
8484 ELK GROVE FLORIN RD,
ELK GROVE, CA 95624
PROJECT NUMBER: 240010

FIRE NOTES

AMMR MAX TRAVEL DISTANCE OF 150' REQUIREMENT MET THROUGH ALTERNATE MEANS AND METHODS (AMMR) AGREEMENTS.
BUILDING SHALL BE FULLY SPRINKLERED W/ FULL IFFPA 13 SYSTEM.
FH QUANTITIES AND LOCATIONS ARE AS REVIEWED AND APPROVED BY F.D. (IF TOTAL ARE SHOWN).

LEGEND

CCSD	COLOSIMES COMMUNITY SERVICES DISTRICT
FCR	FIRE CONTROL ROOM
T.D.	TRAVEL DISTANCE
E.V.A.	EMERGENCY VEHICLE ACCESS
FD	FIRE DEPARTMENT
AMMR	ALTERNATE MEANS AND METHODS REQUEST
FH	FIRE HYDRANT

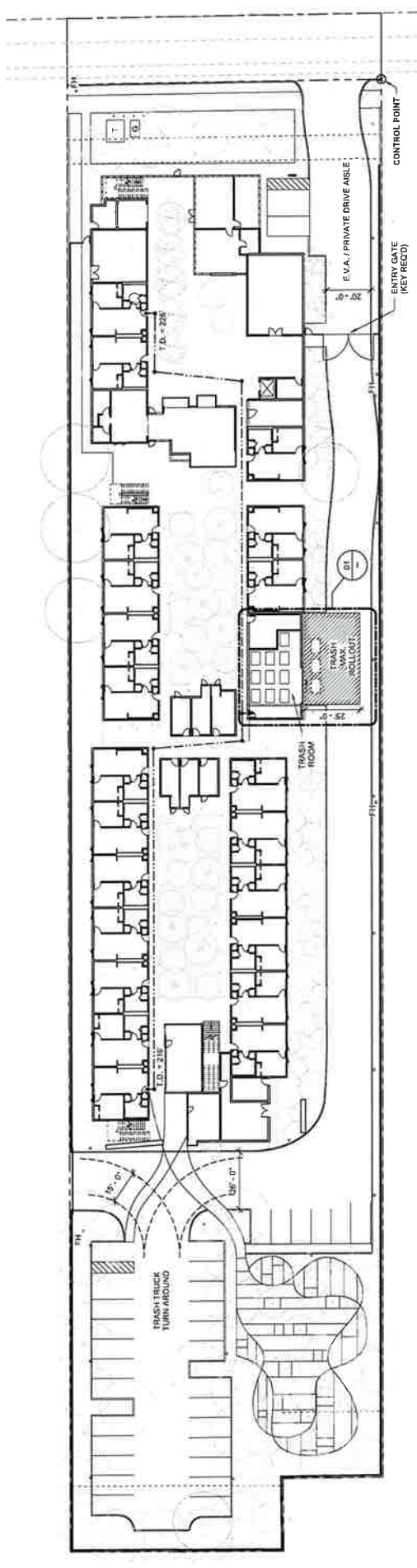
BROOKS SCARPA

SHEET TITLE: FIRE ACCESS
SCALE: As indicated
DATE PRINTED: 5/15/2024

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329 W. 13TH STREET
HAWAII, CA 95220
P: 313.264.9123

A0.51



1ST FLOOR - WASTE MANAGEMENT DIAGRAM
SCALE: 1/8" = 1'-0"

LEGEND

T.D.	TRAVEL DISTANCE	4-YARD BIN
T	TRASH	4-YARD BIN
R	RECYCLE	4-YARD BIN
O	ORGANIC	4-YARD BIN
G	GREEN WASTE	4-YARD BIN

MULTIFAMILY RESIDENTIAL TRASH AND RECYCLING CAPACITY ESTIMATE

TRASH GENERATED PER WEEK	PROVIDED STORAGE	RECD VS PROVIDED
T = 16 CU YARDS	27 RECD < 32 PROVIDED	27 RECD < 32 PROVIDED
R = 27 CU YARDS	27 RECD < 32 PROVIDED	27 RECD < 32 PROVIDED
O = 2 CU YARDS	2 RECD < 4 PROVIDED	2 RECD < 4 PROVIDED
G = 12 CU YARDS	2 RECD < 4 PROVIDED	2 RECD < 4 PROVIDED

ENTIREMENT SET
ENTIREMENT SET REVISION 1
2024-03-29
2024-05-15

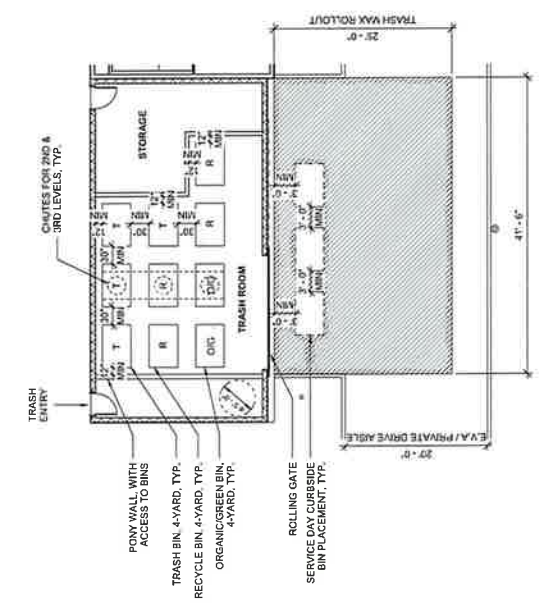
CORAL BLOSSOM APARTMENTS
BARB ELK GROVE FLORIN RD.
ELK GROVE, CA 95624
PROJECT NUMBER: 2400110



SHEET TITLE: WASTE MANAGEMENT
SCALE: As indicated
DATE PRINTED: 5/15/2024
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BROOKS+SCARPA ARCHITECTS, INC.
2020 W. 18TH STREET
SANTA ANA, CA 92709
714.296.1735

A0.52



TRASH ROOM LAYOUT
SCALE: 1/8" = 1'-0"

Recycling & Waste Management Plan

The California State Recycle Act requires that all new residential developments provide for the collection, recycling, and disposal of waste. This plan is a component of the overall waste management plan for the project.

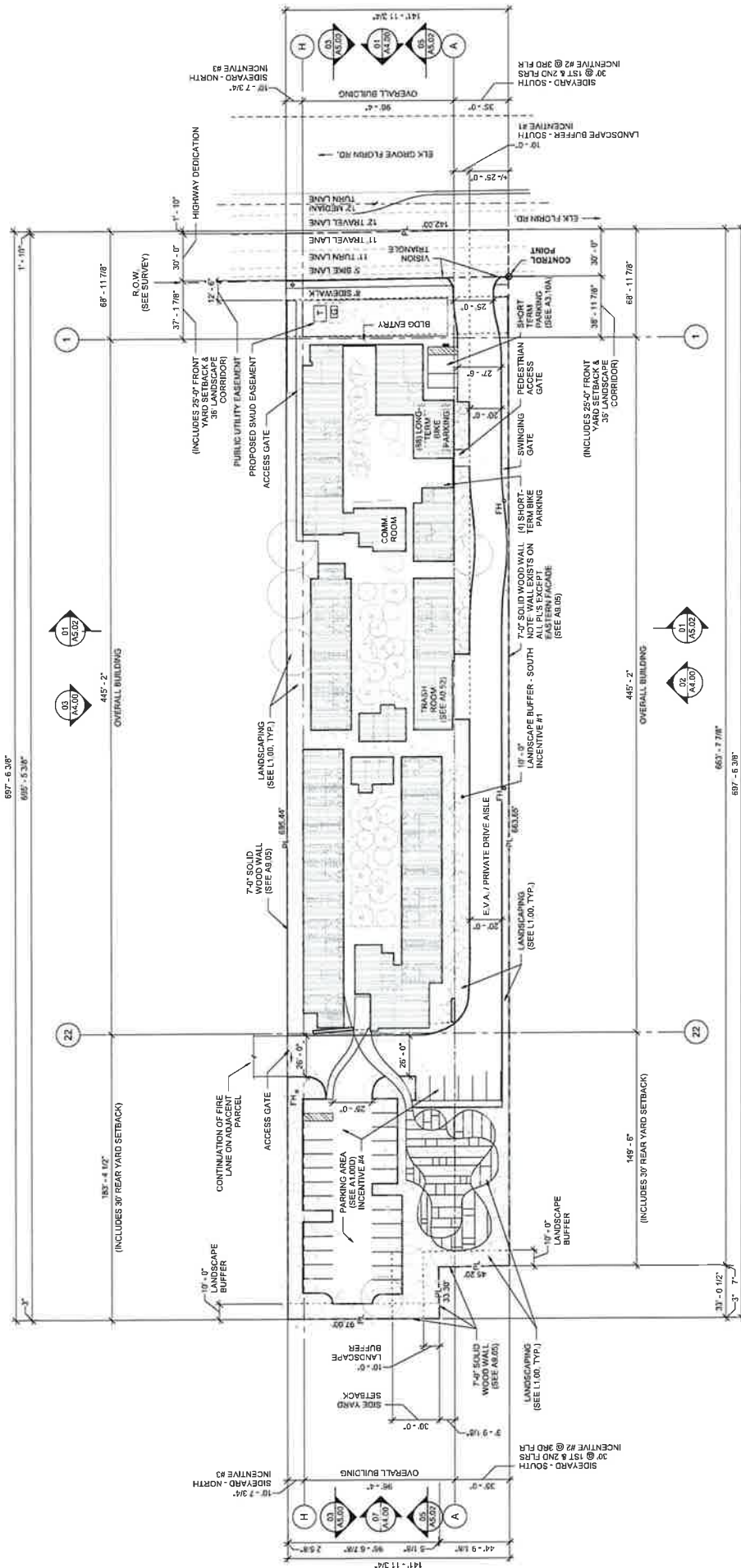
1. Provide a minimum of one recycling bin for each residential unit. The bins should be located in a central area of the project, such as a trash room, and be accessible to all residents.

2. Provide an estimate of the trash and recycling capacity required in your project. (The recycling capacity should not exceed 20% of the total capacity.)

3. Provide a diagram showing the location and placement of all containers, and include the dimensions and placement of the containers. (The diagram should include enough information to allow for the construction of the containers.)

See sheet A0.52 for additional information.

Project Name: Coral Blossom Apartments
Date: 4/29/24
Project Address: 115-0184-013
Project Number: 562-288-2700, 1103



SITE PLAN
SCALE: 1" = 20'-0"

ENTITLEMENT SET
ENTITLEMENT SET REVISION 1

2024-00-28
2024-05-15

REF: A1.000.A1.00

CORAL BLOSSOM APARTMENTS
1444 ELK GROVE E. ORR RD.,
MANTENANCE CENTER, 2ND FLOOR
PROJECT NUMBER: 240310

LEGEND

T	(M) PROJECT TRANSFORMER	TO SUPPLY POWER TO THE PROPOSED DEVELOPMENT
G	(N) PROJECT GENERATOR	TO SUPPLY COMMUNITY ROOM WITH EMERGENCY POWER

OWNER DEVIATIONS: INCENTIVES / CONCESSIONS (SEE A3.01)

- LANDSCAPING BUFFER - SOUTH: RELOCATION OF SOUTH 10 FT LANDSCAPE BUFFER TO BE ADJACENT TO BUILDING
- SIDEYARD - SOUTH: REDUCTION IN SOUTH SIDEYARD SETBACK FROM 40 FT TO 35 FT.
- SIDEYARD - NORTH: REDUCTION IN NORTH SIDEYARD SETBACK FROM 15 FT TO 10 FT.
- PARKING REDUCTION: REDUCTION IN PARKING FROM 62 SPACES TO 33 SPACES.
- OVERHEAD UTILITIES: WAIVER OF EDCMC 23.60.020 REQUIREMENTS TO PLACE ALL UTILITIES UNDERGROUND (INCLUDING BUT NOT LIMITED TO ELECTRICITY, TELEPHONE, OR CABLE TELEVISION).

SHEET TITLE:
CORAL BLOSSOM APARTMENTS

SCALE:
As indicated

DATE PRINTED:
5/22/2024

DESIGNED BY:
L. E. CARTER JR.

CHECKED BY:
L. E. CARTER JR.

PROJECT NUMBER:
240310



MOORE SCARPA ARCHITECTS INC.
2200 W. 14TH STREET
SANTA ANA, CA 92705
TEL: 714.271.2600

PROFESSIONAL SEAL
L. E. CARTER JR.
No. 6148
EXPIRES 05/31/2026

DATE: 5/22/2024
LICENSED REGISTRATION EXPIRES: 3/31/2026

I hereby state that all easements as indicated in ALTA Survey dated 3/25/2024 and Title Company Preliminary Title Report no. 06533111655-1E1 dated as of January 23, 2024, 2024 have been shown hereon and/or have been accounted for in note(s) placed hereon. All easements proposed to be abandoned or quitclaimed and/or all easements that cannot be located are noted hereon.

L. E. CARTER JR.
L.S. & Civil Engineer licensed to practice Land Surveying in the State of California

Zoning Administrator Resolution - Resolution ZA-2024-06 | June 17, 2024
Coral Blossom Apartments (PLNG24-011)

A1.00

PARKING CALCULATIONS	
STANDARD	19
COMPACT	11
ADA/VAN/ADA	3
TOTAL # STALLS	33

COMPACT PARKING REQUIREMENTS (EGMC CH. 23.56.060)	
ALLOWED (5% MAX)	PROVIDED
33 STALLS x 35% = 11.55 = 11 STALLS	11 STALLS

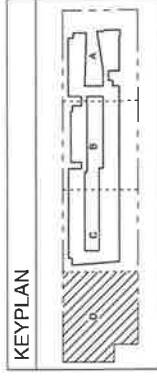
EV PARKING REQUIREMENTS (EGMC CH. 23.56.120 & CALGREEN SECT 4.106.4.2.2)	
REQUIRED	PROVIDED
10% EV CAPABLE	31 x 10% = 3.1 = 3 STALLS
25% EV READY	31 x 25% = 7.75 = 8 STALLS
5% EVSE INSTALLED	31 x 5% = 1.55 = 2 STALLS

PLANTING ISLAND REQUIREMENTS (EGMC CH. 23.64.050(C1))	
RATIO: 1 ISLAND FOR EVERY 8 SPACES	
MINIMUM: 1 ISLAND PLACED EVERY 10 SPACES	
31 PARKING STALLS / 8 SPACES = 3.875 = 4 ISLANDS	

DEFINITIONS	
EV CAPABLE	CAPABLE OF SUPPORTING FUTURE LEVEL 2 EVSE
EV READY	EQUIPPED WITH LOW-POWER LEVEL 2 EV CHARGING RECEPTACLES
EVSE INSTALLED	EQUIPPED WITH LEVEL 2 EVSE

LEGEND	
(S)	STANDARD
(C)	COMPACT
ADA	ACCESSIBLE PARKING SPACE
VAN/ADA	VAN/ACCESSIBLE PARKING SPACE

08 - (C)
STALL NUMBER
STALL TYPE (COMPACT, STANDARD, ADA, VAN/ADA)



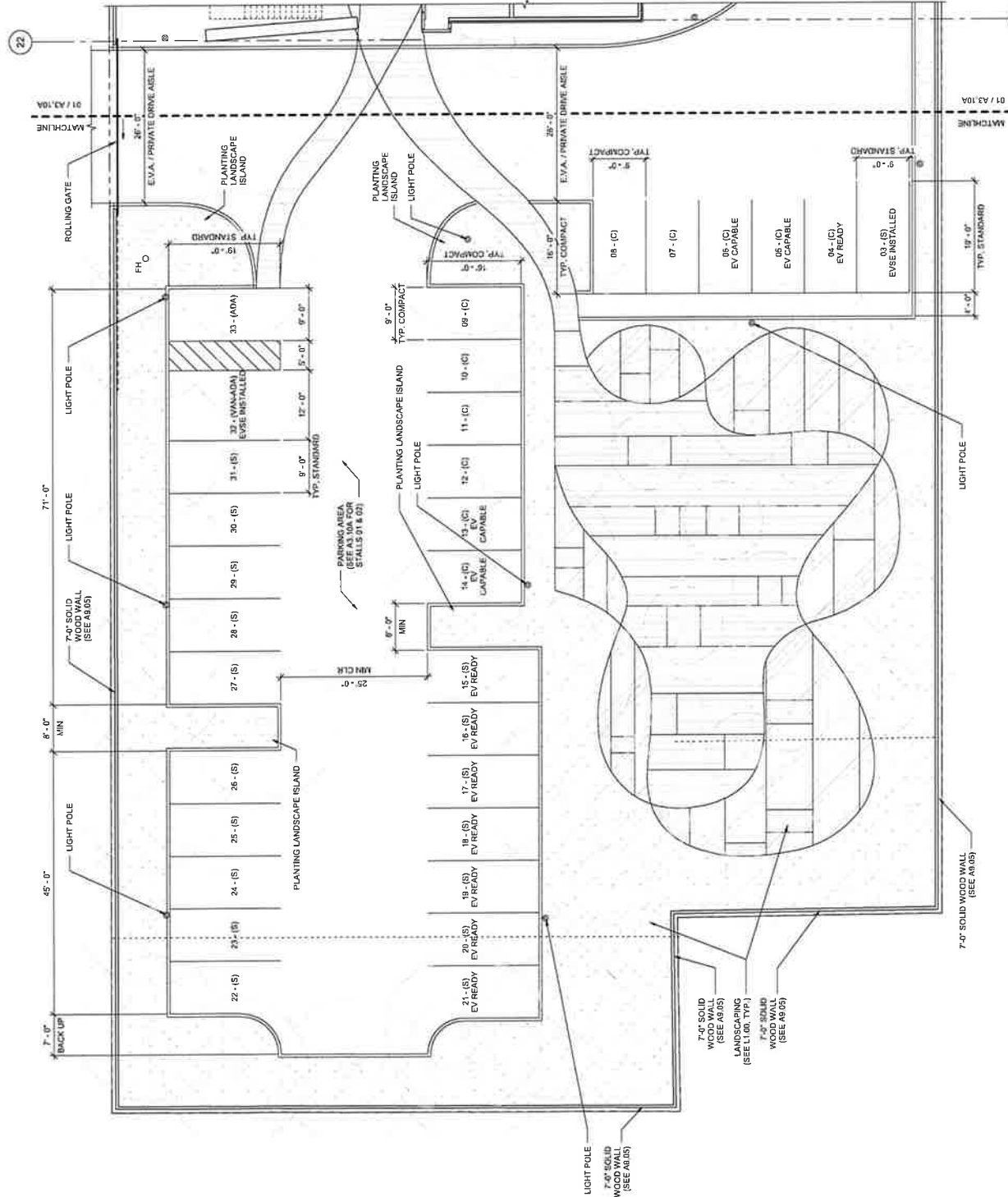
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ENTITLEMENT SET REVISION 1
2024-01-29
2024-05-15

CORAL BLOSSOM APARTMENTS
8484 ELK GROVE FLOREN RD.
ELK GROVE, CA 95624
PROJECT NUMBER: 240110

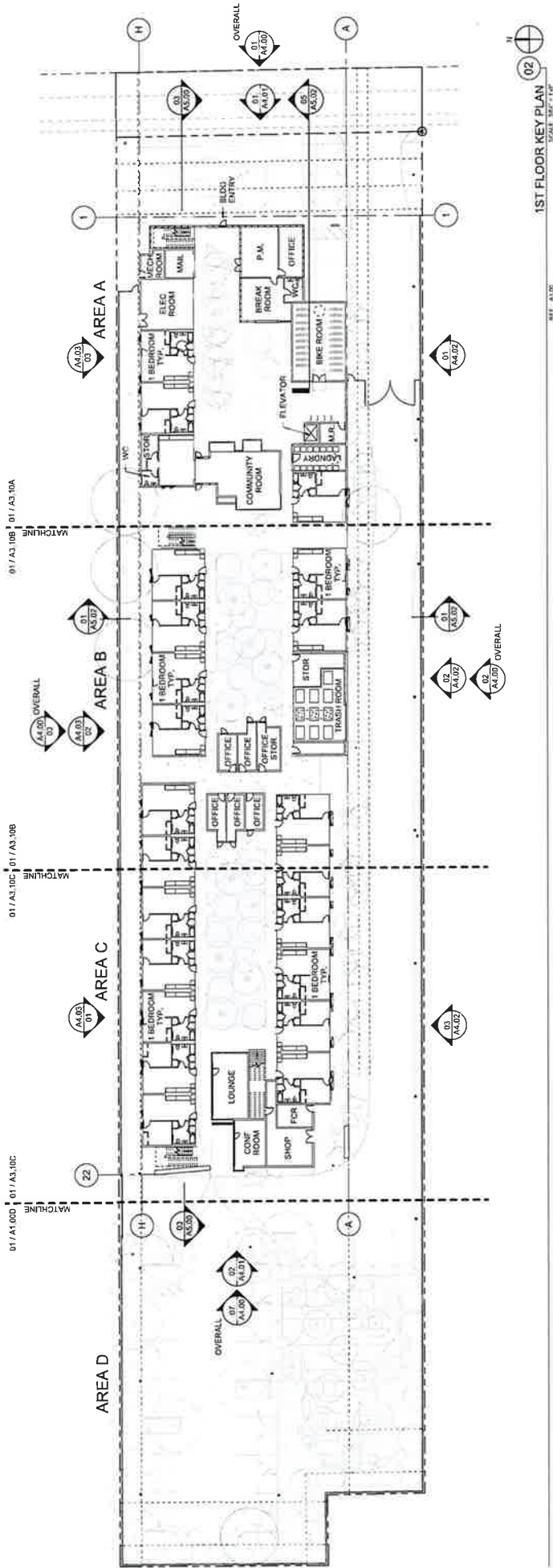


SHEET TITLE: AREA D - ENLARGED SITE PLAN
SCALE: As indicated
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A1.00D
BROOKS + SCARPA ARCHITECTS INC.
2008 W. LEBANON AVENUE
SUNNYVALE, CA 95088
(415) 351-1000



AREA D - SITE PLAN
SCALE: 1/8" = 1'-0"
01



1ST FLOOR KEY PLAN
SCALE: 3/8" = 1'-0"

ENTITLEMENT SET
ENTITLEMENT SET REVISION 1

2024-03-29
2024-05-15

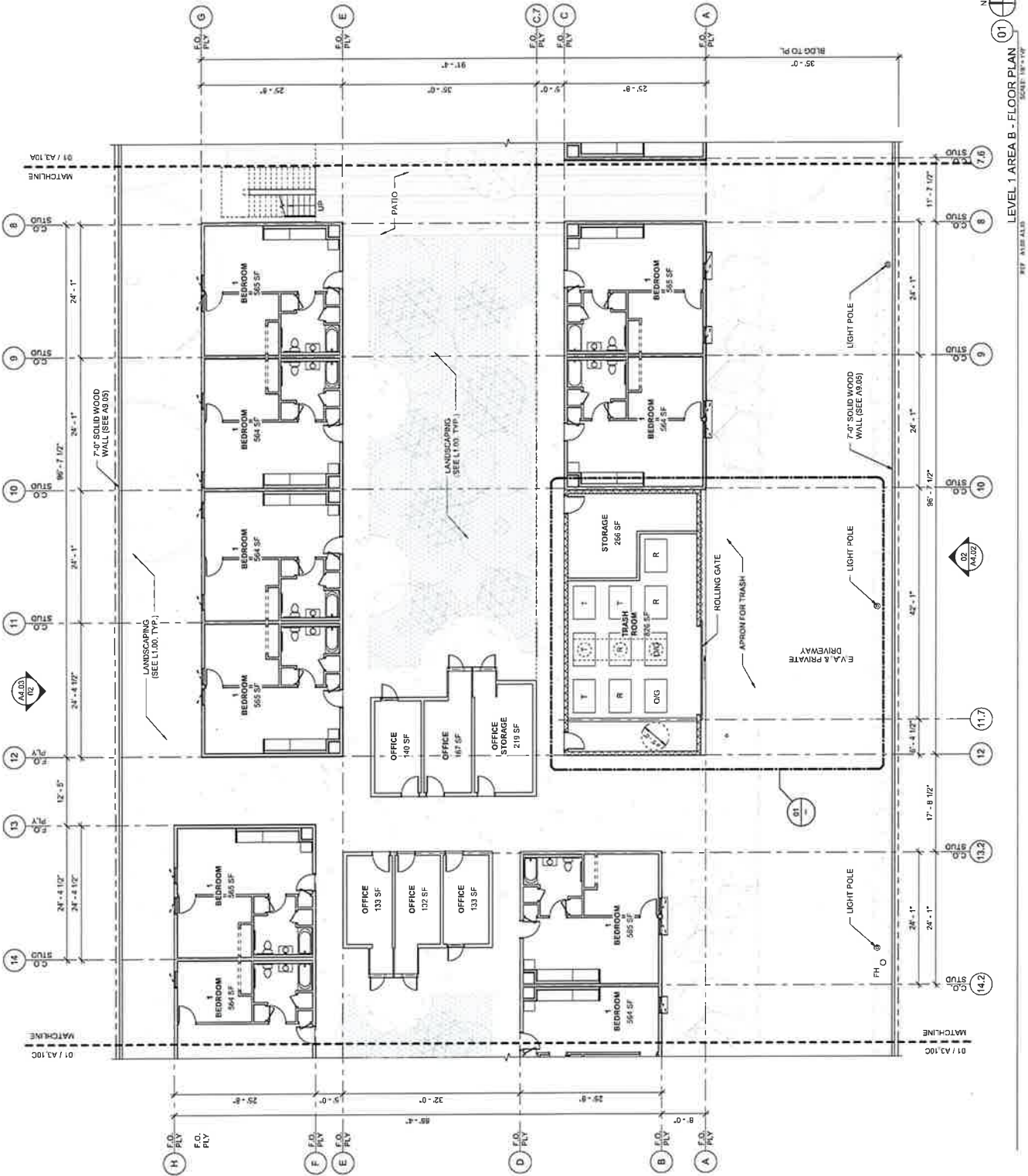
CORAL BLOSSOM APARTMENTS
8484 ELK GROVE FLORIN RD.
ELK GROVE, CA 95624
PROJECT NUMBER: 240110



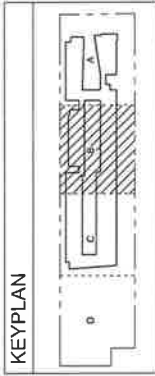
SHEET TITLE: 1ST FLOOR KEY PLAN
SCALE: 3/8" = 1'-0"
DATE PRINTED: 05/15/2024
PROJECT NUMBER: 240110
PROJECT NAME: CORAL BLOSSOM APARTMENTS
PROJECT LOCATION: 8484 ELK GROVE FLORIN RD., ELK GROVE, CA 95624
DESIGNED BY: BROOKS+SCARPA ARCHITECTS INC.
DRAWN BY: [Name]

A3.10

BROOKS+SCARPA ARCHITECTS INC.
2885 W. 134TH STREET
FREMONT, CA 94538
TEL: 510.770.1000



KEYPLAN



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2024-03-29
2024-05-15

CORAL BLOSSOM APARTMENTS

1444 ELK GROVE #, GLEN RD,
ELK GROVE, CA 95624
PROJECT NUMBER: 240110



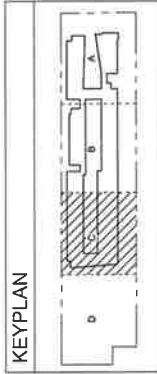
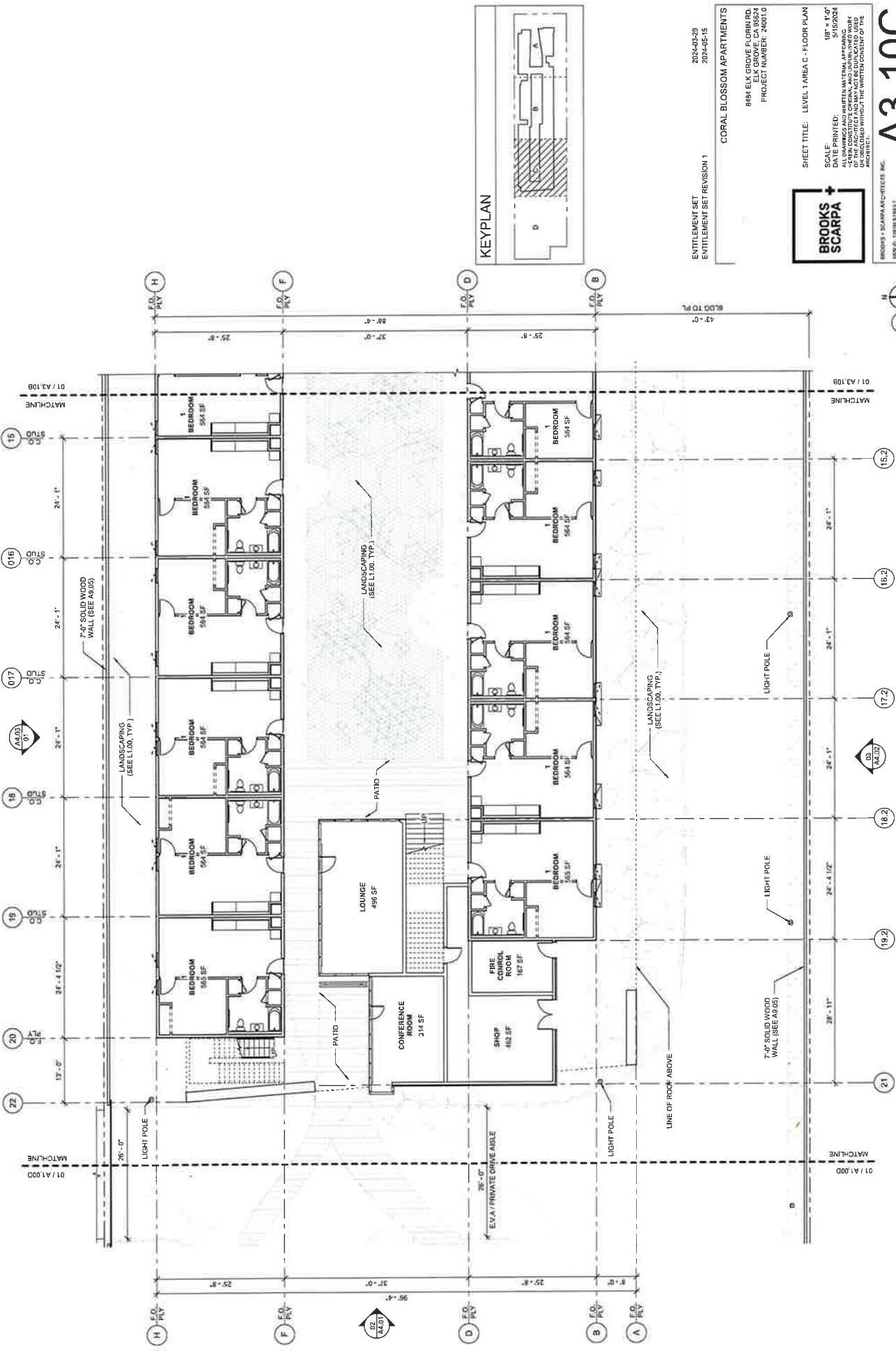
SHEET TITLE: LEVEL 1 AREA B - FLOOR PLAN
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300 N. 10TH AVENUE
PACIFIC PALMS, CA 92652
(714) 440-7000

A3.10B



LEVEL 1 AREA B - FLOOR PLAN
SCALE: 1/8" = 1'-0"



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2024-03-29
2024-05-15

CORAL BLOSSOM APARTMENTS
8484 ELK GROVE FLORIN RD.
ELK GROVE, CA 95624
PROJECT NUMBER: 240610

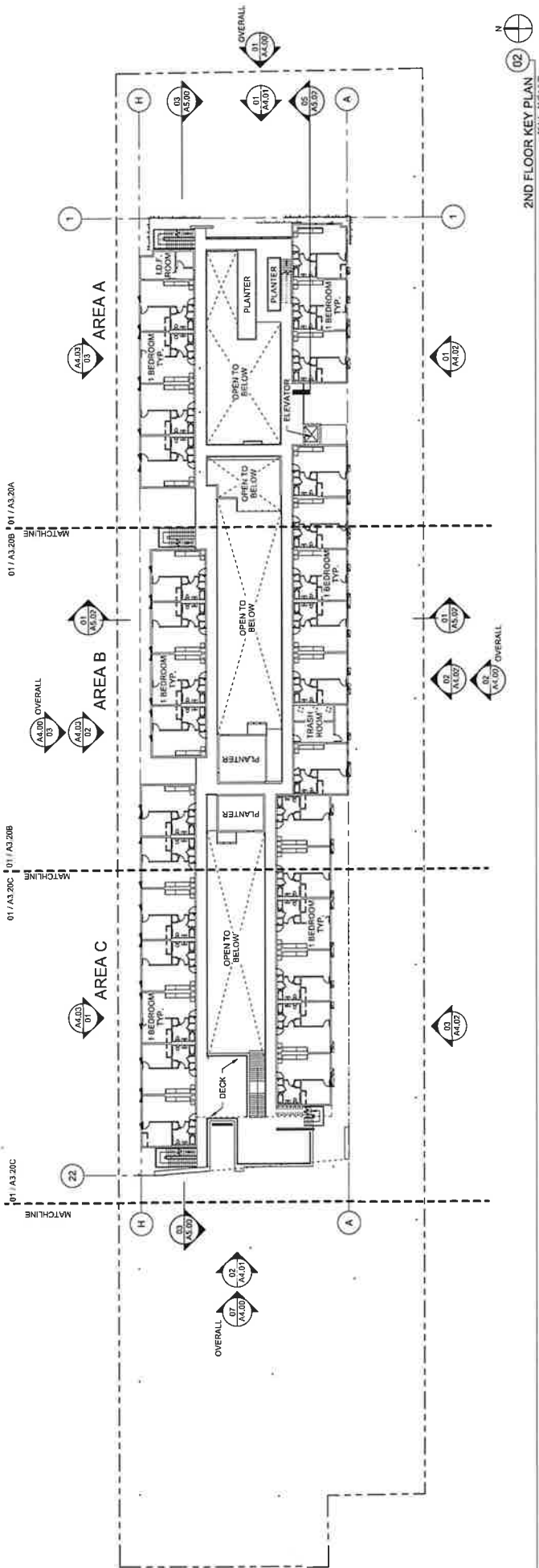


SHEET TITLE: LEVEL 1 AREA C - FLOOR PLAN
SCALE: 1/8" = 1'-0"
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DESIGNED BY: [Name]
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BROOKS SCARPA ARCHITECTS INC.
2000 N. 10TH STREET
SACRAMENTO, CA 95811
TEL: 916.442.4400

A3.10C

LEVEL 1 AREA C - FLOOR PLAN
SCALE: 1/8" = 1'-0"



2ND FLOOR KEY PLAN
SCALE: 3/8" = 1'-0"

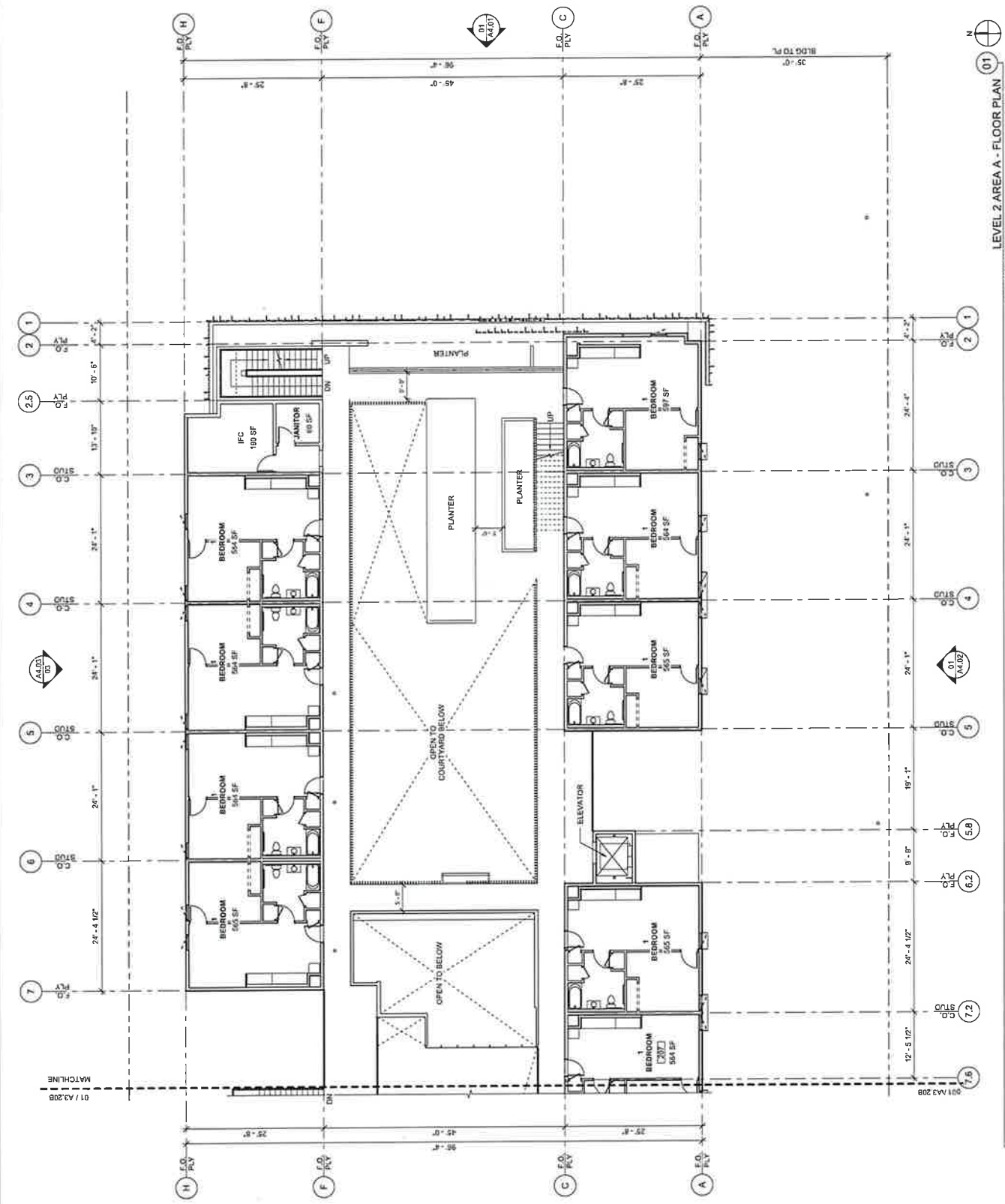
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2024-05-15

CORAL BLOSSOM APARTMENTS
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ELK GROVE, CA 95624
PROJECT NUMBER: 2400110

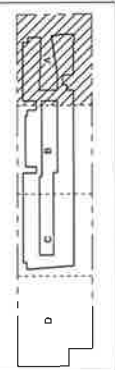
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SCALE: 3/8" = 1'-0"
DATE PRINTED: 5/15/2024
DRAWN BY: JESSICA WILSON
CHECKED BY: JESSICA WILSON
DESIGNED BY: JESSICA WILSON
PROJECT MANAGER: JESSICA WILSON
ARCHITECT: BROOKS SCARPA

WILSON + SCARPA ARCHITECTS, INC.
200 N. LEVIN STREET
SUNNYVALE, CA 95088
TEL: (415) 351-1000

A3.20



KEYPLAN



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2024-03-28
2024-05-15

CORAL BLOSSOM APARTMENTS
8484 ELK GROVE FLORIN RD.
ELK GROVE, CA 95624
PROJECT NUMBER: 208119

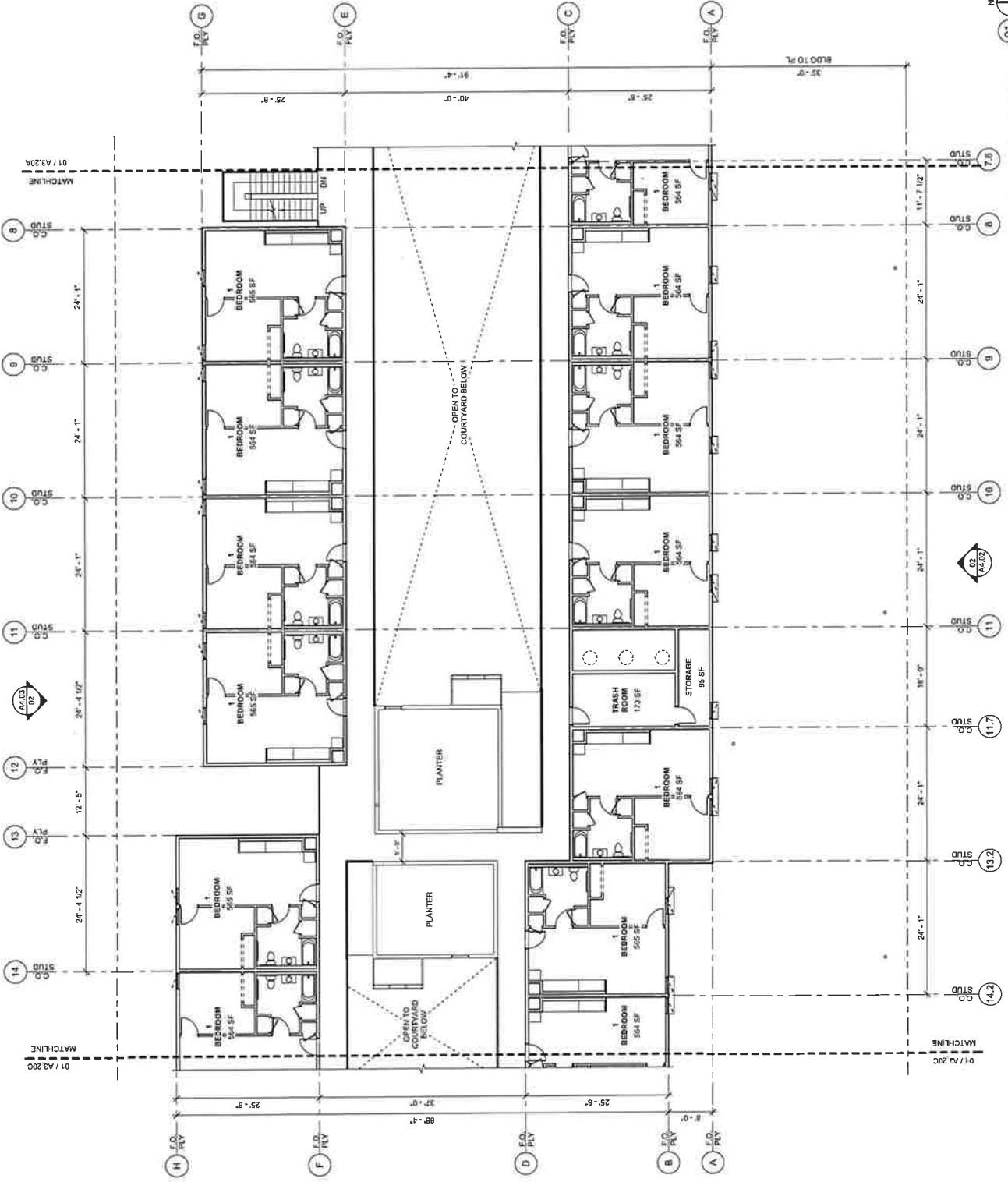


SHEET TITLE: LEVEL 2 AREA A - FLOOR PLAN
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BROOKS SCARPA ARCHITECTS INC.
20970 LYONS HILL
SUITE 100
IRVINE, CA 92614

A3.20A

LEVEL 2 AREA A - FLOOR PLAN
SCALE: 1/8" = 1'-0"



LEVEL 2 AREA B - FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 DATE PRINTED: 5/15/2024
 PROJECT NUMBER: 2024-06

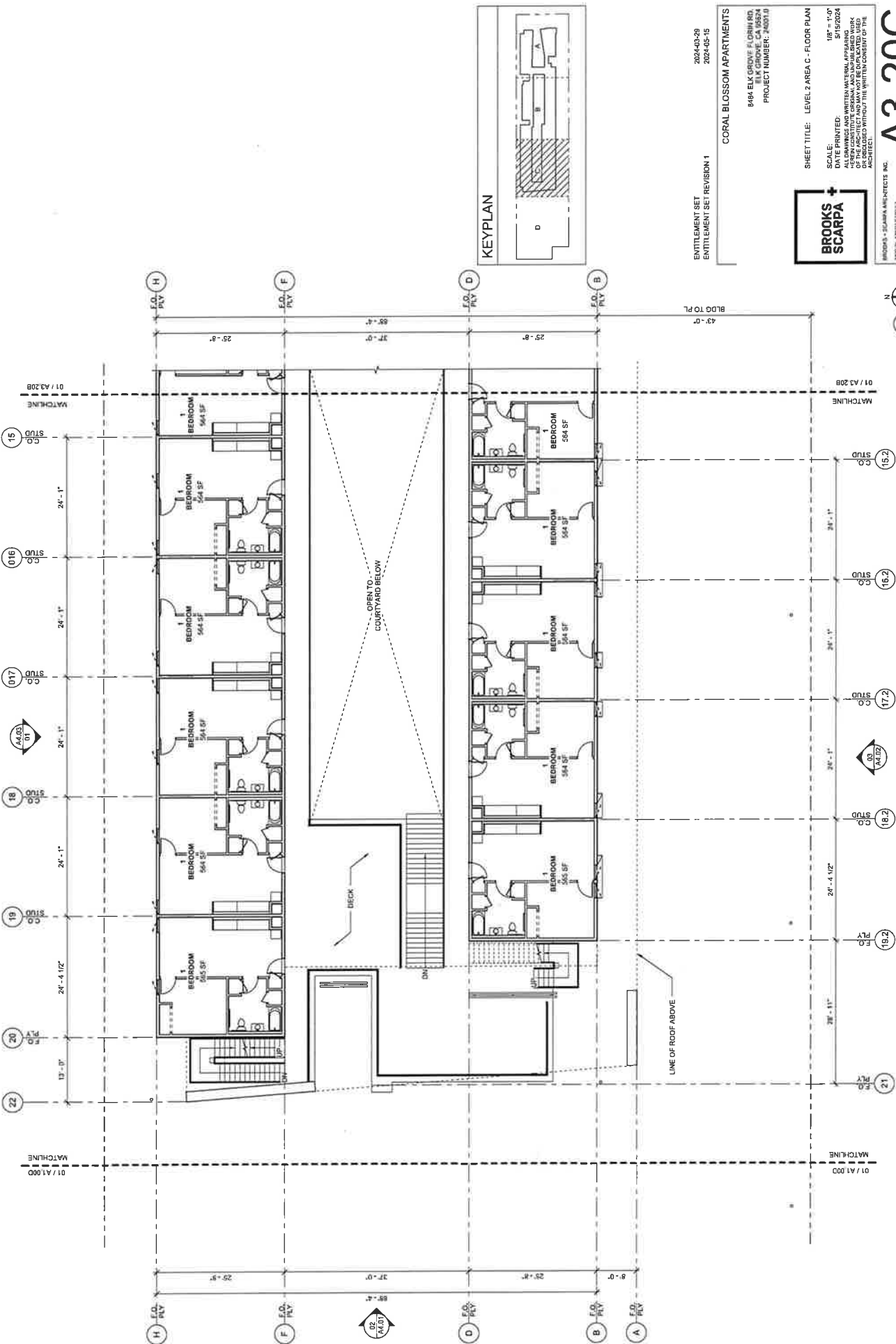
BROOKS SCARPA
 ARCHITECTS INC.
 2890 13TH STREET, SUITE 101
 SAN FRANCISCO, CA 94103
 (415) 774-8888

CORAL BLOSSOM APARTMENTS
 8484 ELK GROVE FLORIN RD.
 ELK GROVE, CA 95624
 PROJECT NUMBER: 2024-06

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 2024-03-28
 2024-05-15

SHEET TITLE: LEVEL 2 AREA B - FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 DATE PRINTED: 5/15/2024
 PROJECT NUMBER: 2024-06

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 01 / A3.20B MATCHLINE



01 / A1.000 MATCHLINE
 01 / A2.208 MATCHLINE
 01 / A3.208 MATCHLINE

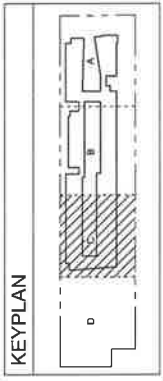
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16
17
18
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21
22

15.2
16.2
17.2
18.2
19.2
21

01 / A1.000 MATCHLINE
 01 / A2.208 MATCHLINE
 01 / A3.208 MATCHLINE

LEVEL 2 AREA C - FLOOR PLAN
 SCALE: 1/8" = 1'-0"

01



ENTITLEMENT SET
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 2024-03-29
 2024-05-15

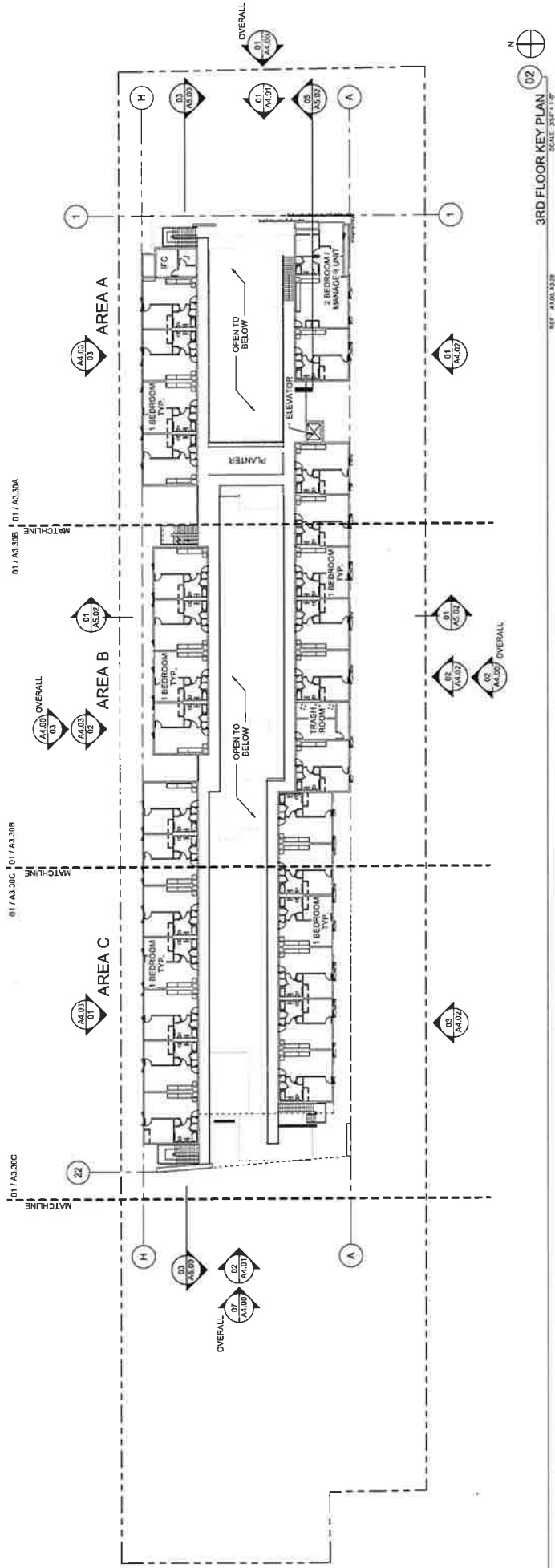
CORAL BLOSSOM APARTMENTS
 8484 ELK GROVE FLORIN RD.
 ELK GROVE, CA 95724
 PROJECT NUMBER: 2400110



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MIDOKA - SCARPA ARCHITECTS INC.
 200 W. LOMA STREET
 HAYWARD, CA 94541
 (925) 937-1000

A3.20C



3RD FLOOR KEY PLAN
SCALE: 3/8" = 1'-0"

REF: A3.03.28

ENTITLEMENT SET
ENTITLEMENT SET REVISION 1

2024-03-29
2024-05-15

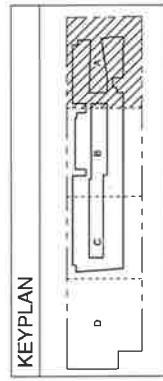
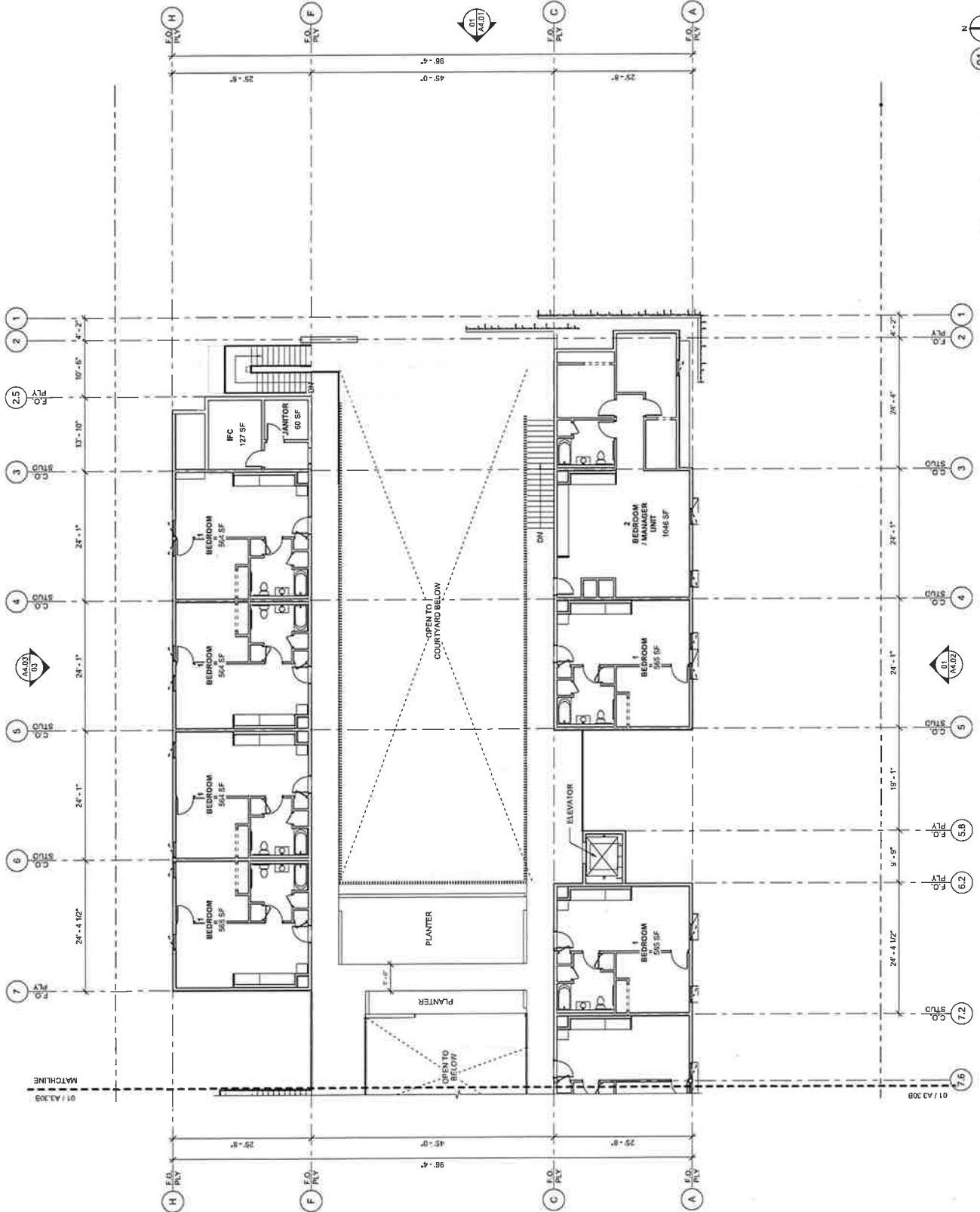
CORAL BLOSSOM APARTMENTS

8484 ELK GROVE FLORM RD
ELK GROVE, CA 95624
PROJECT NUMBER: 200719



SHEET TITLE: 3RD FLOOR KEY PLAN
SCALE: 3/8" = 1'-0"
DATE PRINTED: 5/15/2024
ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. DIMENSIONS TO FACE UNLESS OTHERWISE NOTED. DIMENSIONS TO FACE UNLESS OTHERWISE NOTED. DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.

WILCOX + SCARPA ARCHITECTS INC.
200 W. WASHINGTON ST.
MARTINEZ, CA 94559
(925) 938-1111



ENTITLEMENT SET
ENTITLEMENT SET REVISION 1

2024-03-28
2024-05-15

CORAL BLOSSOM APARTMENTS
8484 ELK GROVE FLORIN RD.
ELK GROVE, CA 95824
PROJECT NUMBER: 240010



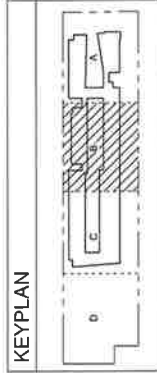
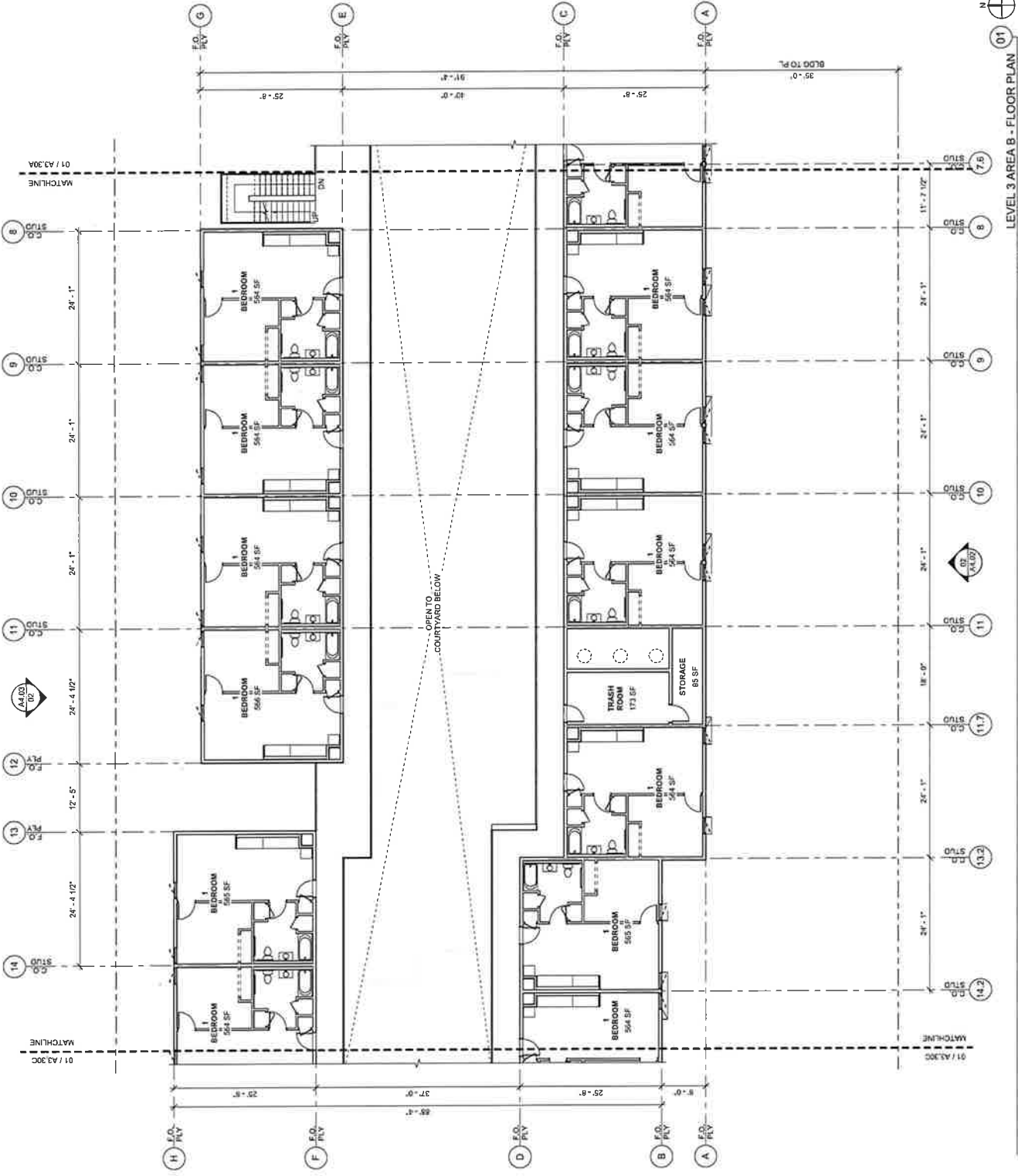
SHEET TITLE: LEVEL 3 AREA A - FLOOR PLAN
SCALE: 1/8" = 1'-0"
DATE PRINTED: 5/15/2024
PROJECT NUMBER: 240010
PROJECT LOCATION: 8484 ELK GROVE FLORIN RD., ELK GROVE, CA 95824
PROJECT ARCHITECT: BROOKS + SCARPA ARCHITECTS INC.

BROOKS + SCARPA ARCHITECTS INC.
3200 W. 10TH STREET, SUITE 100
HAYWARD, CA 94541
(415) 524-1000

LEVEL 3 AREA A - FLOOR PLAN
SHEET 151710
01

01 / A3.30B

01 / A3.30A



ENTITLEMENT SET
ENTITLEMENT SET REVISION 1

2024-03-29
2024-05-15

CORAL BLOSSOM APARTMENTS

8484 ELK GROVE FLOORN RD,
ELK GROVE, CA 95764
PROJECT NUMBER: 20010

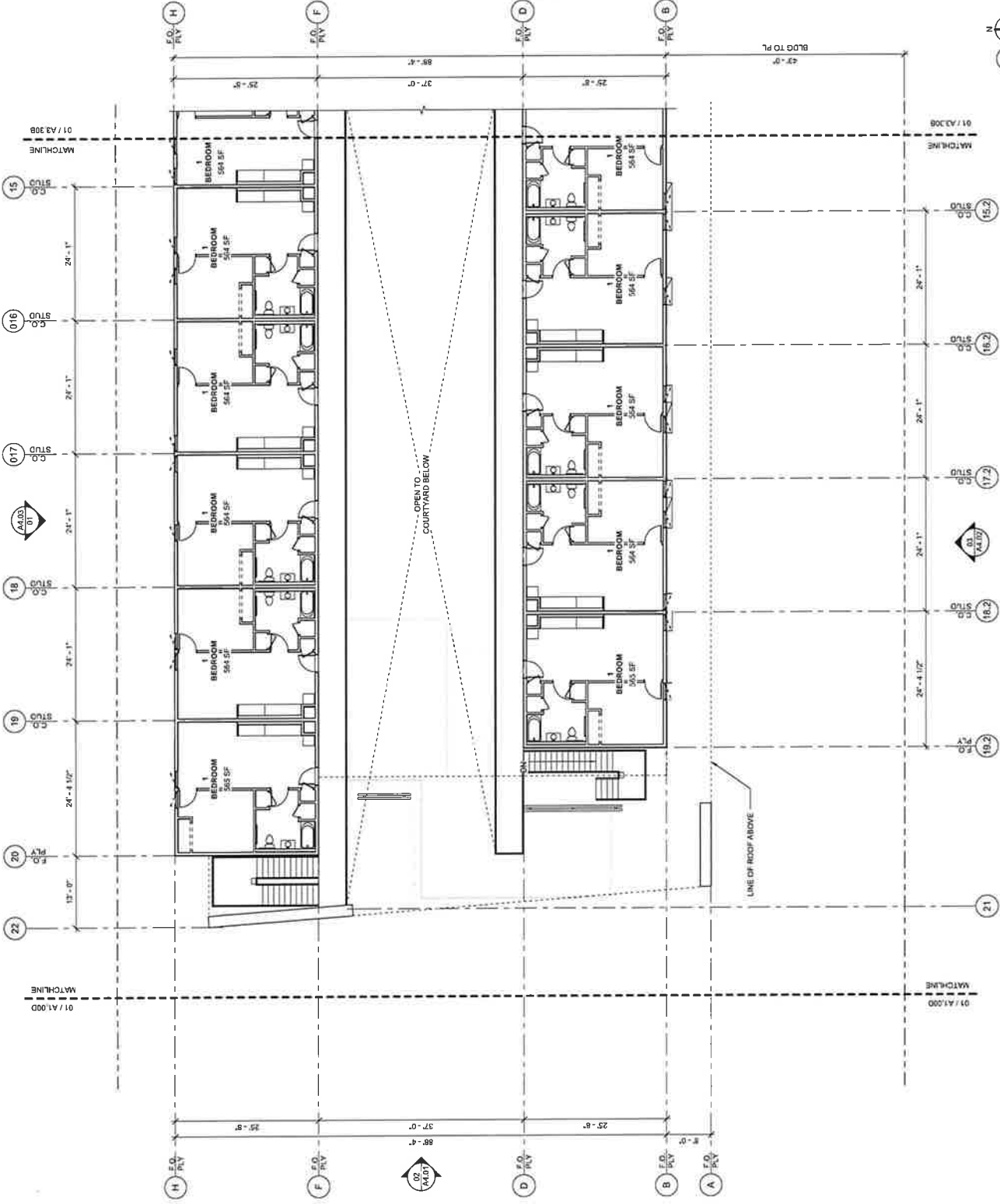


SHEET TITLE: LEVEL 3 AREA B - FLOOR PLAN
SCALE: 1/8" = 1'-0"
DATE PRINTED: 5/15/2024
ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
IF THE ARCHITECT AND/OR ENGINEER HAS REVIEWED THE DRAWING, THE ARCHITECT AND/OR ENGINEER'S REVIEW SHALL BE INDICATED BY A CHECKMARK IN THE MARGINS.
ADDRESS: 123456789

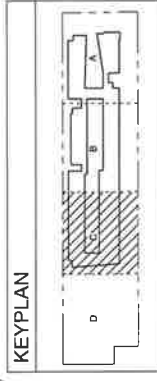
A3.30B

BROOKS + SCARPA ARCHITECTS INC.
2000 ALVARADO STREET
SAN FRANCISCO, CA 94133
(415) 440-1234

LEVEL 3 AREA B - FLOOR PLAN
SCALE: 1/8" = 1'-0"



KEYPLAN



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2024-03-29
2024-05-15

CORAL BLOSSOM APARTMENTS

8484 ELK GROVE FLORIN RD.
ELK GROVE, CA 95624
PROJECT NUMBER: 240010



SHEET TITLE: LEVEL 3 AREA C - FLOOR PLAN
SCALE: 1/8" = 1'-0"
DATE PRINTED: 5/15/2024
DRAWN BY: J. HARRIS
CHECKED BY: J. HARRIS
PROJECT NUMBER: 240010
PROJECT NAME: CORAL BLOSSOM APARTMENTS
PROJECT ADDRESS: 8484 ELK GROVE FLORIN RD., ELK GROVE, CA 95624

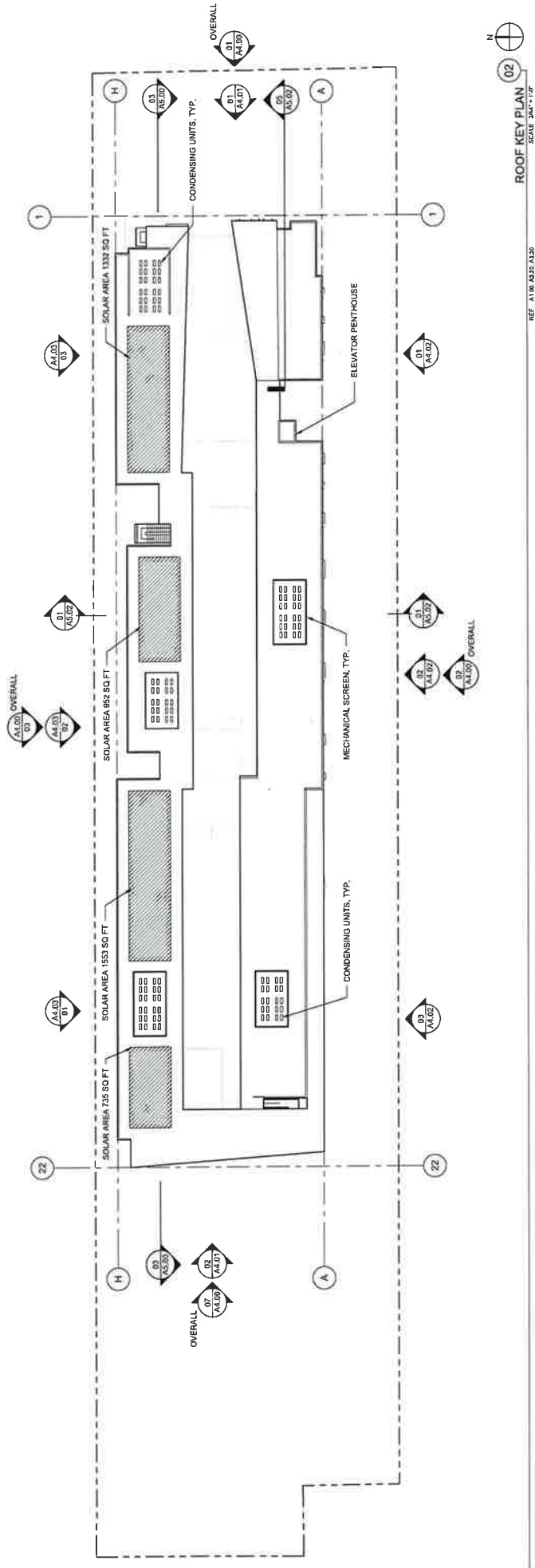
BROOKS + SCARPA ARCHITECTS INC.
3008 N. UNIVERSITY
MARTINEZ, CA 94553
(925) 938-9400

A3.30C

01

LEVEL 3 AREA C - FLOOR PLAN

SCALE: 1/8" = 1'-0"



REF: A1.00, A3.25, A3.26
ROOF KEY PLAN (02)
 SCALE: 3/4" = 1'-0"

SOLAR AREA
 15% SOLAR COVERAGE REQ'D PER ENERGY CODE, SECTION 110.10.BB
 TOTAL ROOF AREA: 26,629 SQ FT
 SOLAR COVERAGE REQ'D: 26,629 SQ FT x 0.15 = 4,328 SQ FT
 SOLAR AREA PROVIDED: 735 + 1,553 + 892 + 1,332 = 4,512 SQ FT
 4,328 SQ FT REQ'D - 4,512 SQ FT PROVIDED

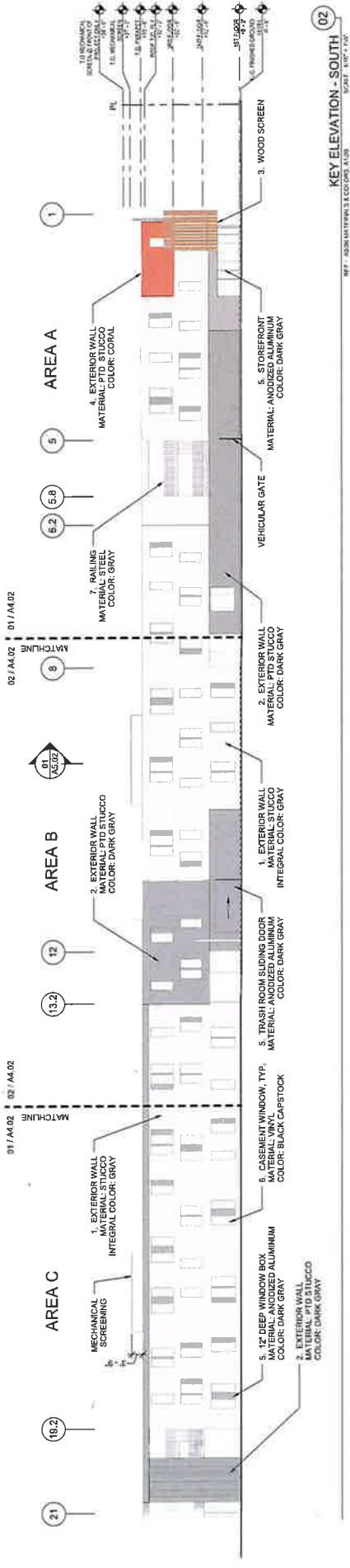
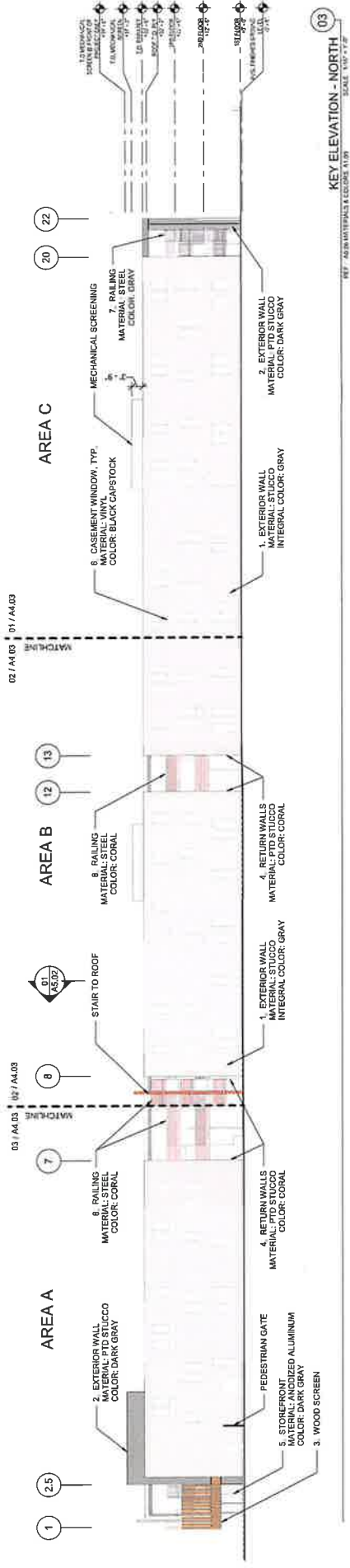
ENTITLEMENT SET
 ENTITLEMENT SET REVISION 1
 2024-03-29
 2024-05-15

CORAL BLOSSOM APARTMENTS
 8484 ELK GROVE FLORIN RD.
 ELK GROVE, CA 95624
 PROJECT NUMBER: 2406119



SHEET TITLE: ROOF PLAN
 SCALE: 3/4" = 1'-0"
 DATE PRINTED: 5/15/2024
 PROJECT: CORAL BLOSSOM APARTMENTS
 4515 COMCAST DRIVE, SUITE 100, ELK GROVE, CA 95624
 BY: JACOB SCARPA AND BOB SCARPA
 CHECKED: BOB SCARPA
 PROJECT NUMBER: 2406119

A3.40
 BROOKS + SCARPA ARCHITECTS INC.
 200 N. 12TH STREET
 FAYETTEVILLE, CA 95750
 TEL: 916.454.1111



LEGEND

MATERIALS & COLORS - SEE A0406

- 1. DARK GRAY ANODIZED ALUM.
- 2. DARK GRAY PAINTED STUCCO
- 3. CORAL PAINTED STEEL
- 4. CORAL PAINTED STUCCO
- 5. DARK GRAY ANODIZED ALUM.
- 6. BLACK VINYL WINDOWS
- 7. CORAL PAINTED STEEL
- 8. CORAL PAINTED STEEL

ENTITLEMENT SET
2024-03-28

ENTITLEMENT SET REVISION 1
2024-05-15

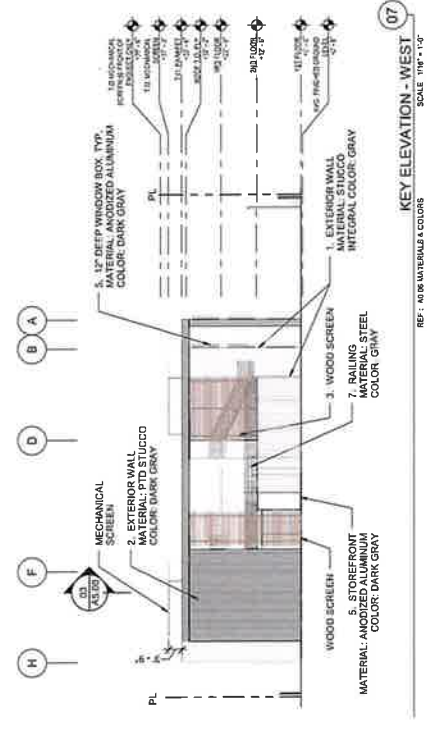
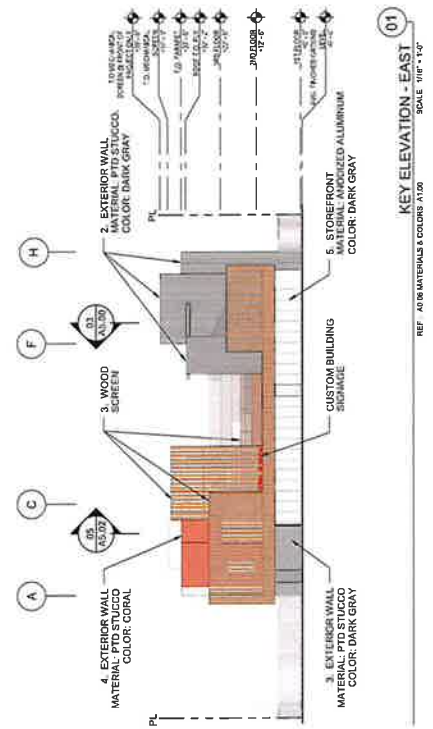
CORAL BLOSSOM APARTMENTS
8484 ELK GROVE FLOREN RD.
ELK GROVE, CA 95824
PROJECT NUMBER: 240013

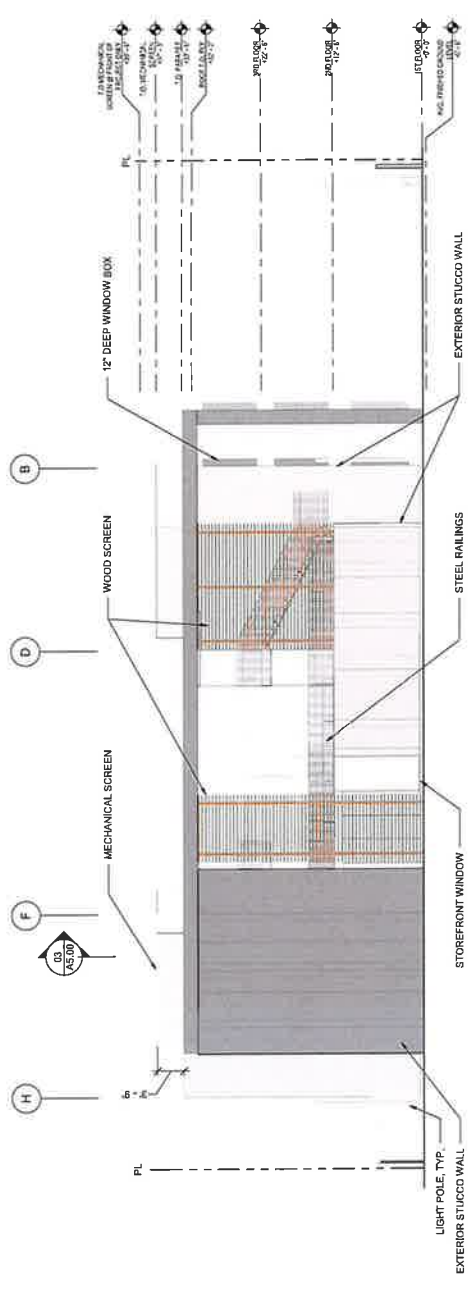
SHEET TITLE: KEY & MATERIAL ELEVATIONS
SCALE: 1/8" = 1'-0"
DATE PRINTED: 5/15/2024

BROOKS SCARPA

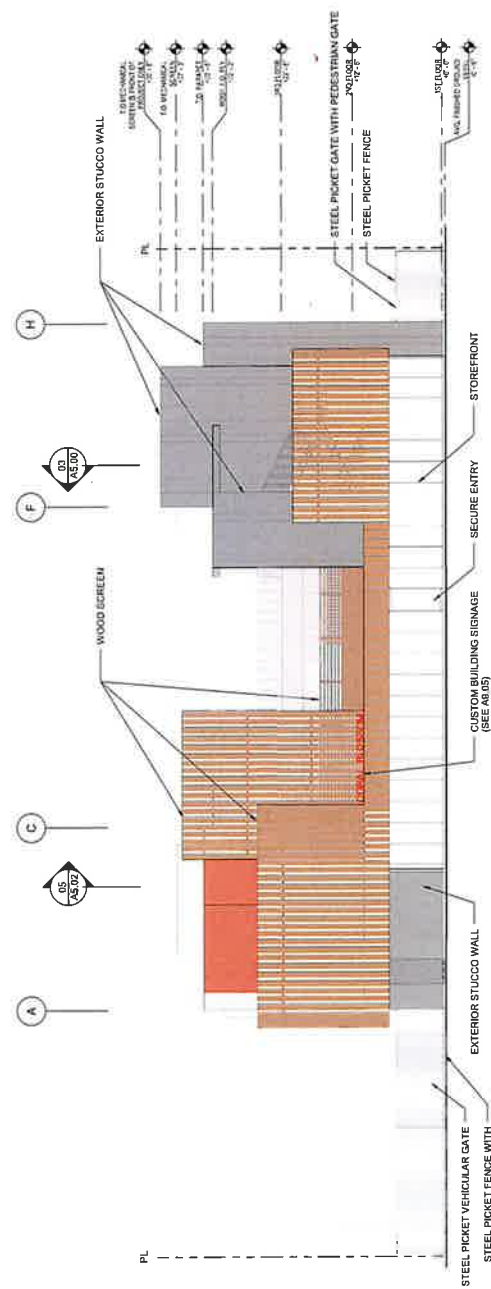
3020 W. 18TH STREET
HAYWARD, CA 94541
TEL: 510.486.9100

A4.00

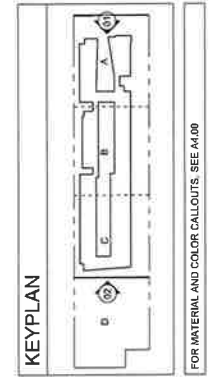




ELEVATION - WEST
 SCALE: 1/8" = 1'-0"
 REF: A-010 MATERIALS & COLORS DRAWING



ELEVATION - EAST
 SCALE: 1/8" = 1'-0"
 REF: A-010 MATERIALS & COLORS DRAWING



FOR MATERIAL AND COLOR CALLOUTS, SEE A-100

ENTITLEMENT SET
 ENTITLEMENT SET REVISION 1
 2024-03-28
 2024-05-15

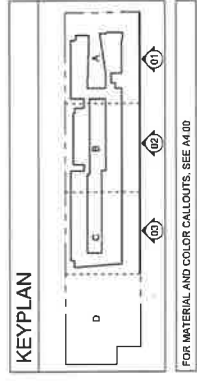
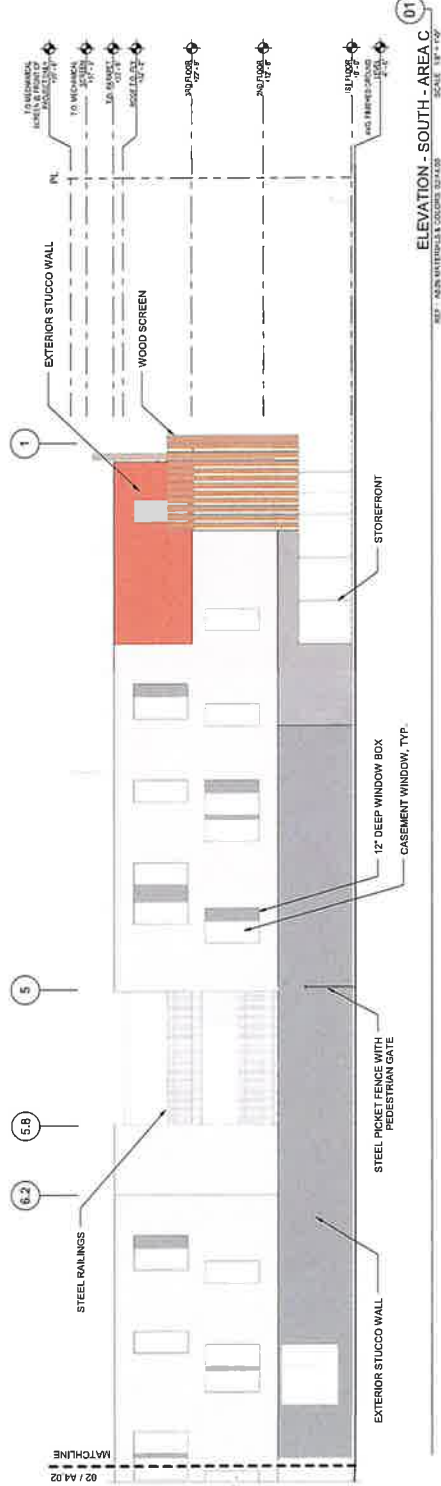
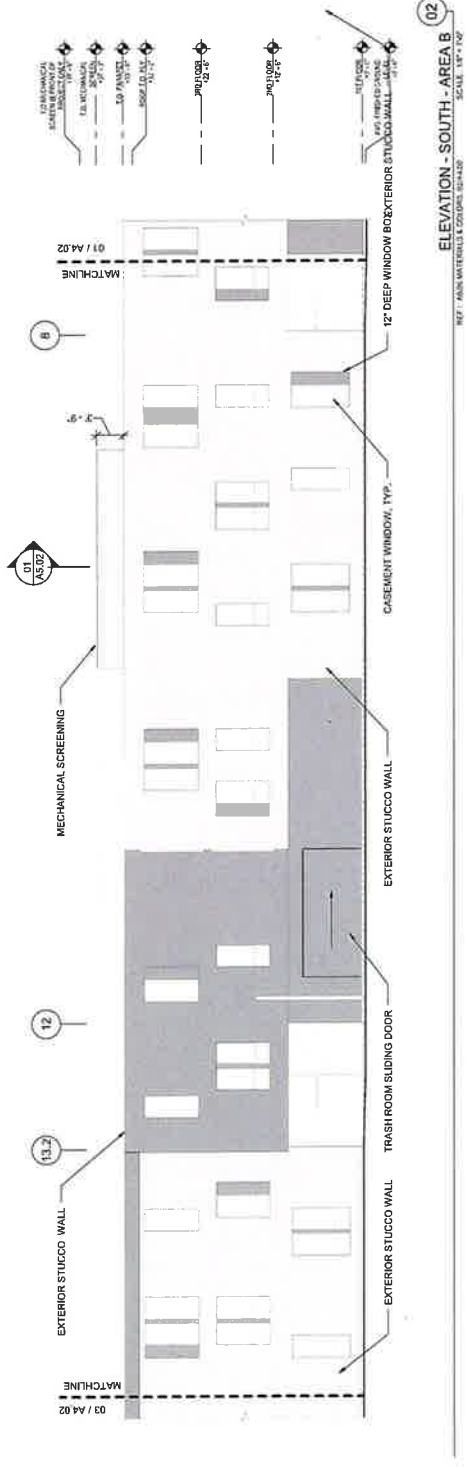
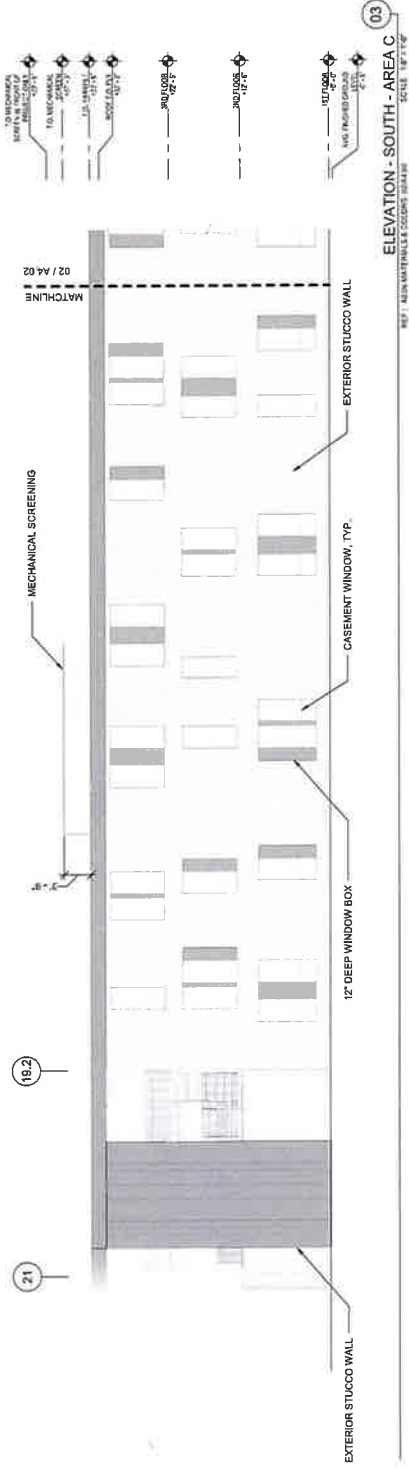
CORAL BLOSSOM APARTMENTS
 5454 ELY GROVE FLOORING RD.
 ELY GROVE, CA 95024
 PROJECT NUMBER: 240910



SHEET TITLE: ELEVATIONS
 SCALE: 1/8" = 1'-0"
 DATE PRINTED: 5/15/2024
 PREPARED BY: BROOKS SCARPA ARCHITECTS
 CHECKED BY: BROOKS SCARPA ARCHITECTS
 APPROVED BY: BROOKS SCARPA ARCHITECTS

BROOKS + SCARPA ARCHITECTS, INC.
 3826 W. 18TH STREET
 HAYWARD, CA 94541
 (415) 524-4400

A4.01



ENTITLEMENT SET
ENTITLEMENT SET REVISION 1

2024-03-29
2024-05-15

CORAL BLOSSOM APARTMENTS
848A ELK GROVE FLORIN RD.
ELK GROVE, CA 95824
PROJECT NUMBER: 240010

BROOKS + SCARPA

WIDROS + SCARPA ARCHITECTS, INC.
3028 N. 18TH STREET
HAYWARD, CA 94509
510.204.0474

SHEET TITLE: CORAL BLOSSOM APARTMENTS

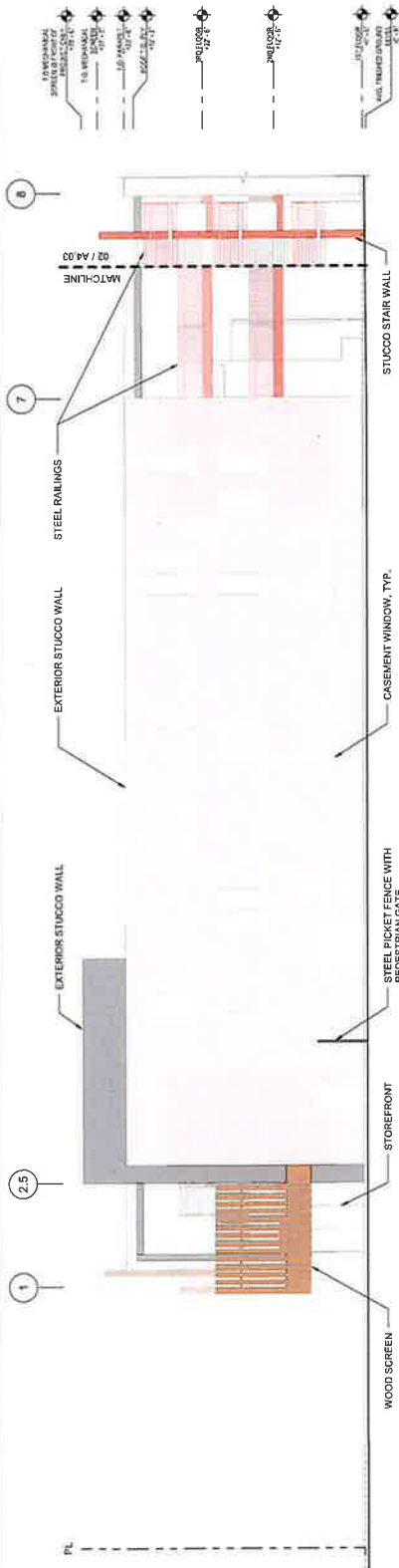
SCALE: 1/8" = 1'-0"

DATE PRINTED: 5/15/2024

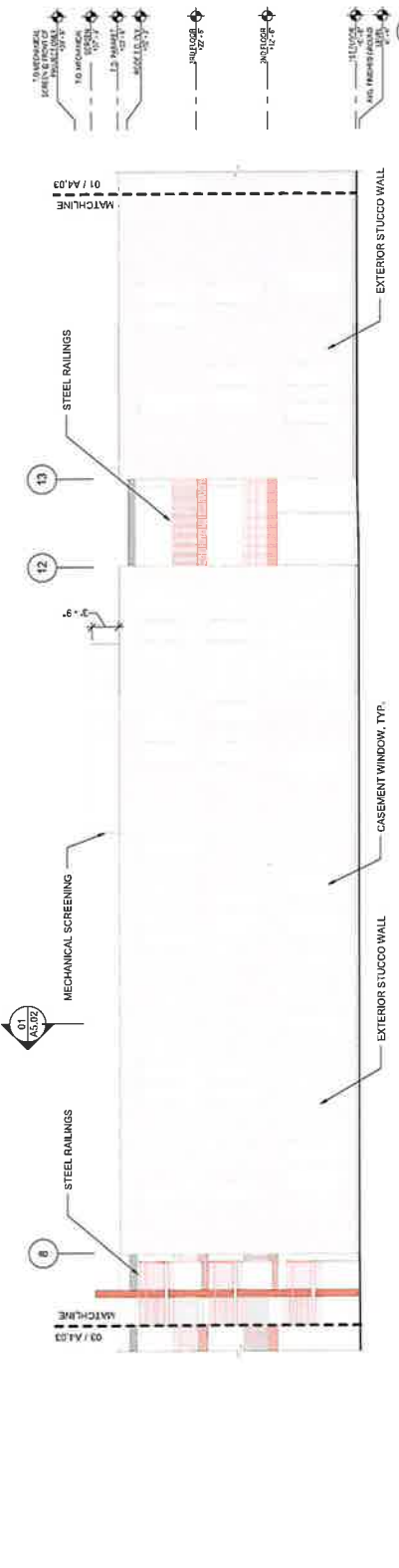
BY: JAMES W. WIDROS, ARCHITECT
CHECKED BY: JAMES W. WIDROS, ARCHITECT
DATE: 5/15/2024

ELEVATIONS

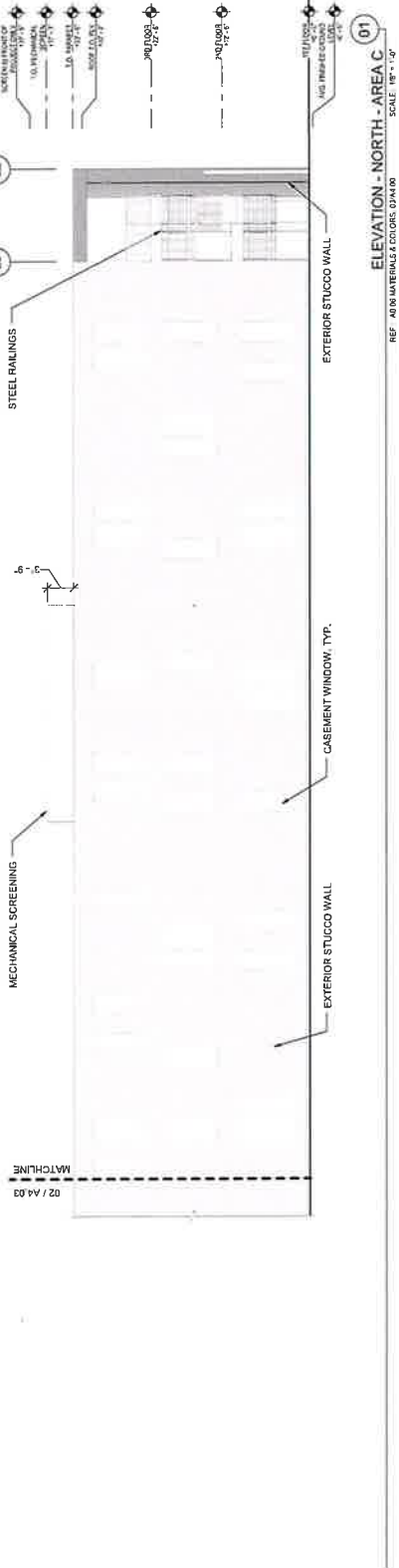
A4.02



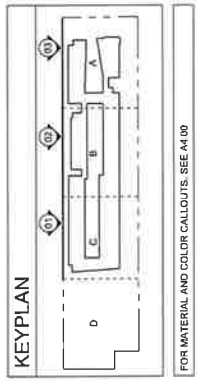
ELEVATION - NORTH - AREA A
 SCALE: 1/8" = 1'-0"
 REF: A4.00 MATERIALS & COLORS, 03.A.000



ELEVATION - NORTH - AREA B
 SCALE: 1/8" = 1'-0"
 REF: A4.00 MATERIALS & COLORS, 03.A.000



ELEVATION - NORTH - AREA C
 SCALE: 1/8" = 1'-0"
 REF: A4.00 MATERIALS & COLORS, 03.A.000



FOR MATERIAL AND COLOR CALLOUTS SEE A4.00

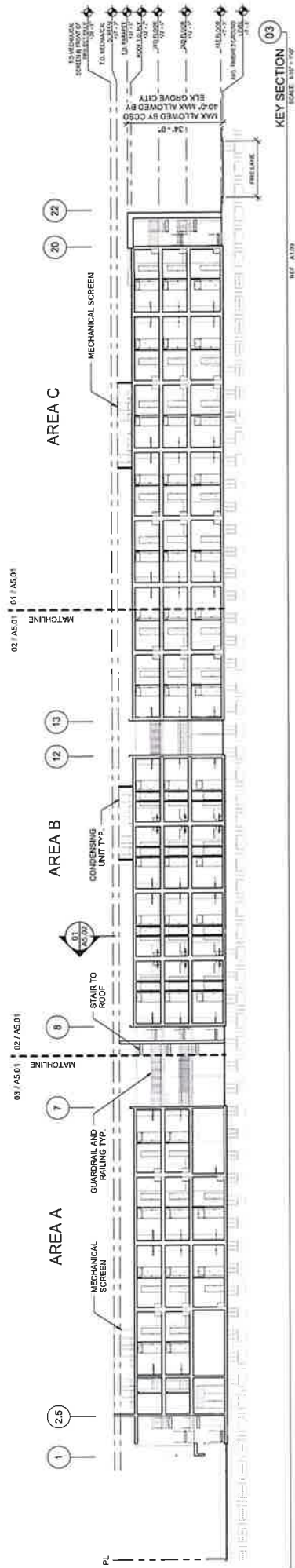
ENTITLEMENT SET
 2024-03-29
 ENTITLEMENT SET REVISION 1
 2024-05-15

CORAL BLOSSOM APARTMENTS
 8481 ELK GROVE FLORIND RD,
 ELK GROVE, CA 95751
 PROJECT NUMBER: 240810



SHEET TITLE: ELEVATIONS
 SCALE: 1/8" = 1'-0"
 DATE PRINTED: 5/15/2024
 DESIGNER: BROOKS+SCARPA ARCHITECTURE INC.
 DESIGN CONSULTING COMPANY AND LICENSED WORK
 OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE
 ARCHITECT.

A4.03
 BROOKS+SCARPA ARCHITECTURE INC.
 328 W. LINN STREET
 SUITE 100
 FOLSOM, CA 95630
 916.232.9800



03
KEY SECTION
SCALE 1/8" = 1'-0"

NOTE:
CCSD = COSUMNES COMMUNITY SERVICE DISTRICT FIRE DEPARTMENT
ENTITLEMENT SET
2024-03-28
ENTITLEMENT SET REVISION 1
2024-05-15

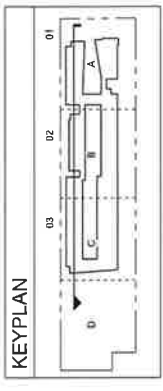
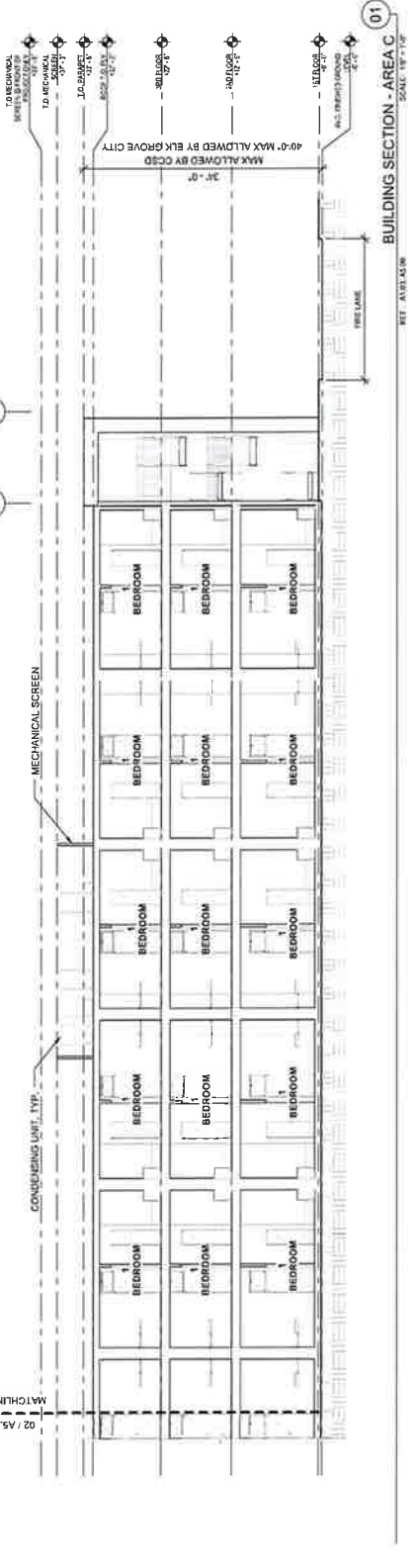
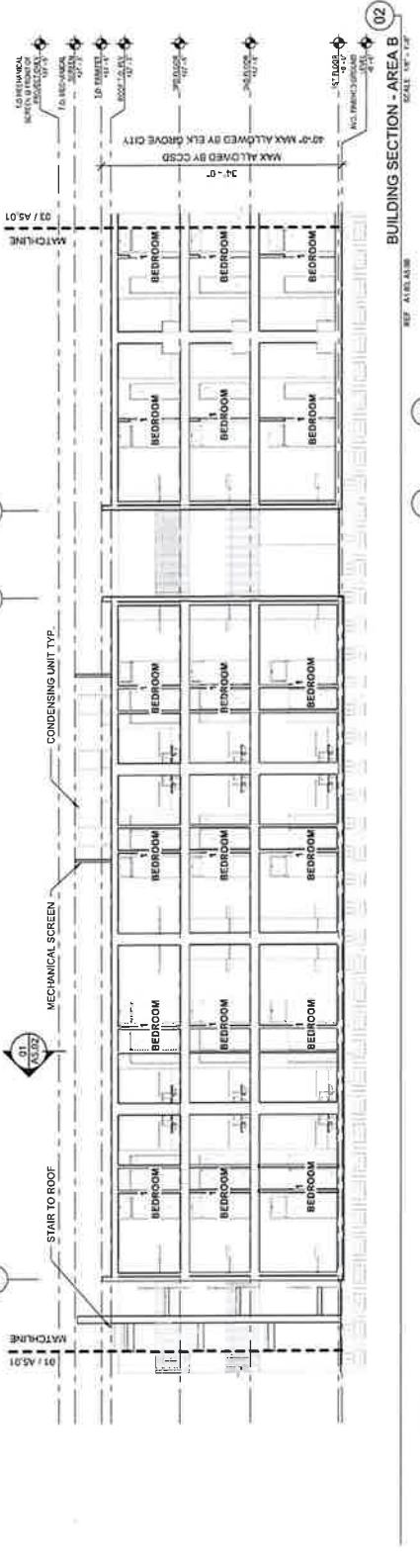
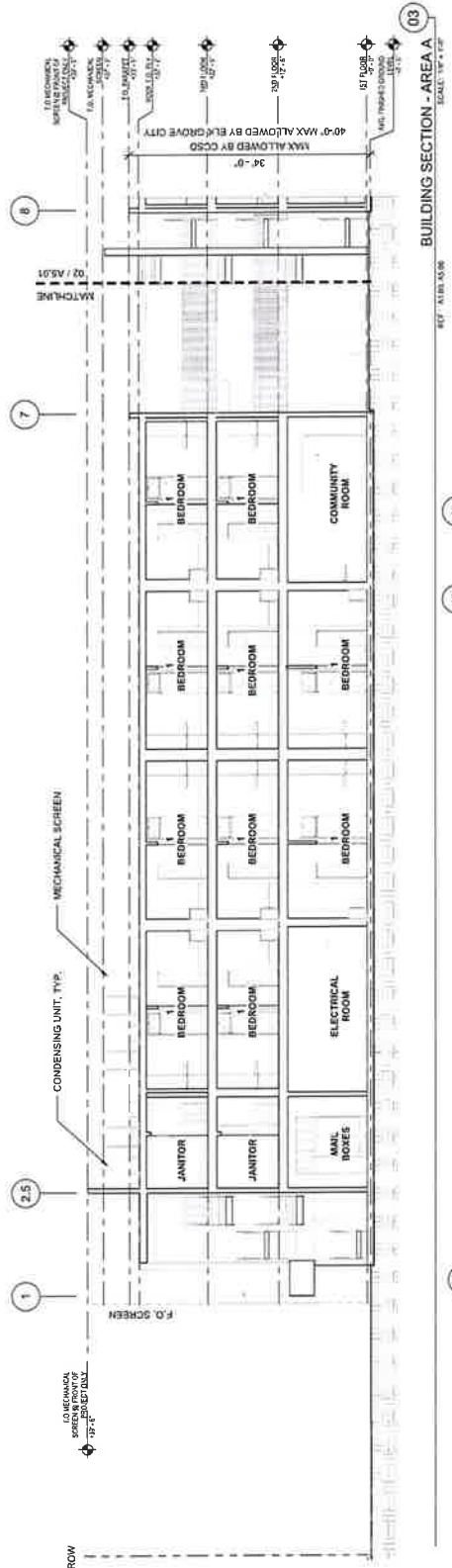
CORAL BLOSSOM APARTMENTS
8484 ELK GROVE FLORIN RD.
ELK GROVE, CA 95624
PROJECT NUMBER: 20019



SHEET TITLE:
KEY SECTIONS
SCALE: 1/8" = 1'-0"
DATE PRINTED: 5/15/2024
PROJECT NUMBER: 20019
PROJECT ADDRESS: 8484 ELK GROVE FLORIN RD., ELK GROVE, CA 95624
PROJECT NUMBER: 20019
PROJECT ADDRESS: 8484 ELK GROVE FLORIN RD., ELK GROVE, CA 95624
PROJECT NUMBER: 20019

BROOKS + SCARPA ARCHITECTURE, INC.
3008 W. 138TH STREET
MILWAUKEE, WI 53227
TEL: 414.224.7200
WWW.BROOKS-SCARPA.COM

A5.00



NOTE: CCSD = COSUMES COMMUNITY SERVICE DISTRICT FIRE DEPARTMENT
 ENTITLEMENT SET REVISION 1
 2024-03-28
 2024-05-15

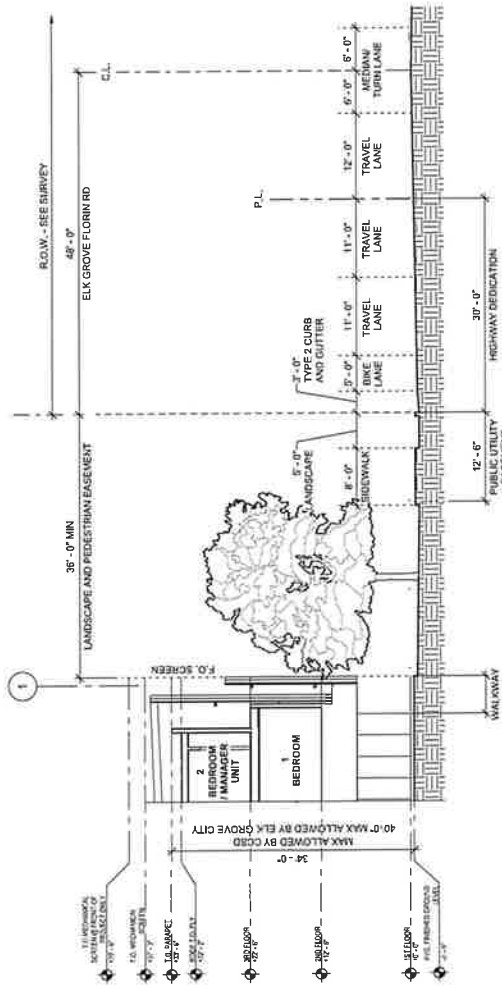
BROOKS SCARPA

CORAL BLOSSOM APARTMENTS
 8464 ELK GROVE FLORIN RD.
 ELK GROVE, CA 95624
 PROJECT NUMBER: 240110

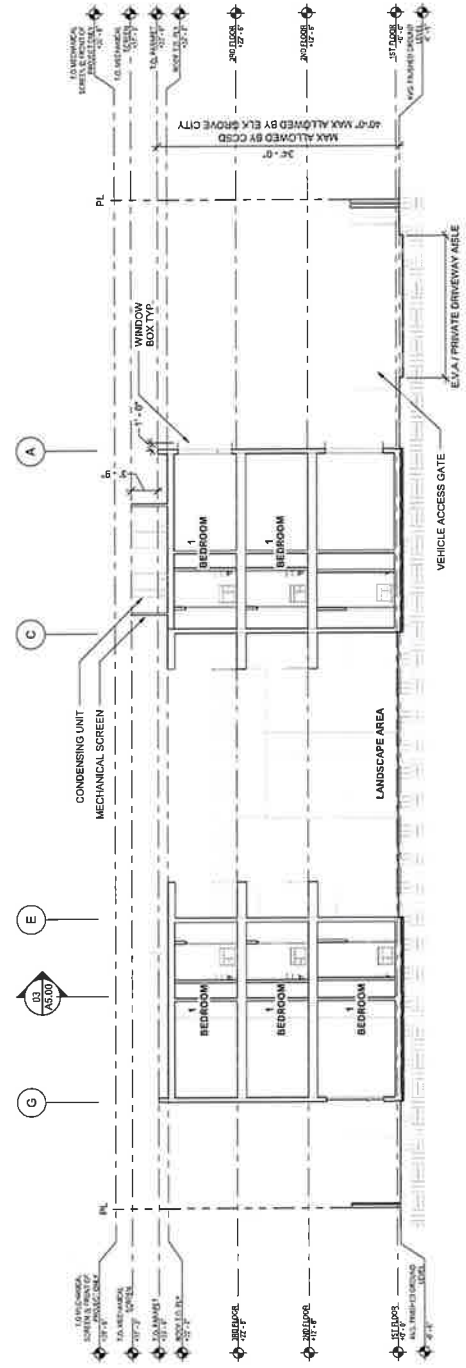
SHEET TITLE: BUILDING SECTIONS
 SCALE: 1/8" = 1'-0"
 DATE PRINTED: 5/15/2024
 THESE CONSTRUCTION DOCUMENTS AND UNAPPROVED WORK OF THE PROJECT MAY NOT BE REPRODUCED, COPIED, OR OTHERWISE TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

BROOKS + SCARPA ARCHITECTS INC.
 200 W. 10TH STREET
 HAYWARD, CA 94541
 | 415.886.9100

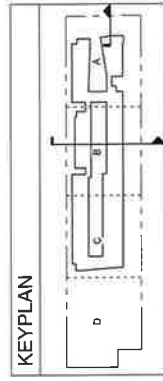
A5.01



05 STREET SECTION
SCALE: 1/8" = 1'-0"



01 BUILDING SECTION
SCALE: 1/8" = 1'-0"



NOTE: CCSD = COSUMNES COMMUNITY SERVICE DISTRICT FIRE DEPARTMENT
ENTITLEMENT SET 2024-03-28
ENTITLEMENT SET REVISION 1 2024-05-15

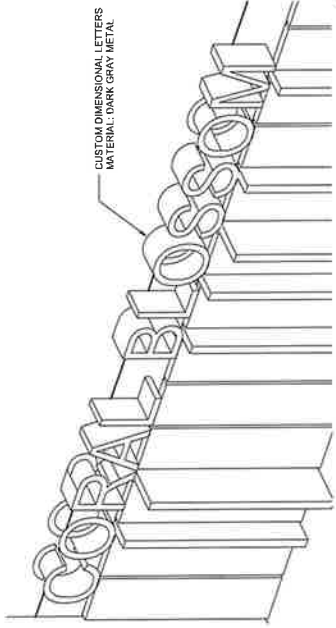
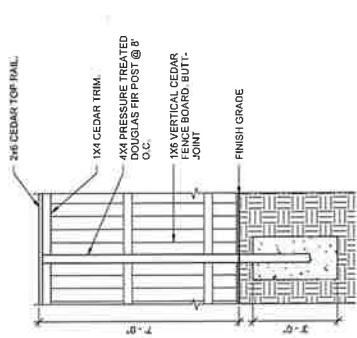
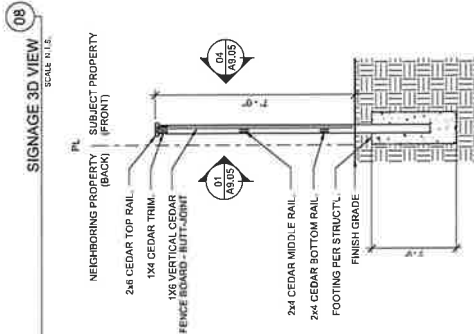
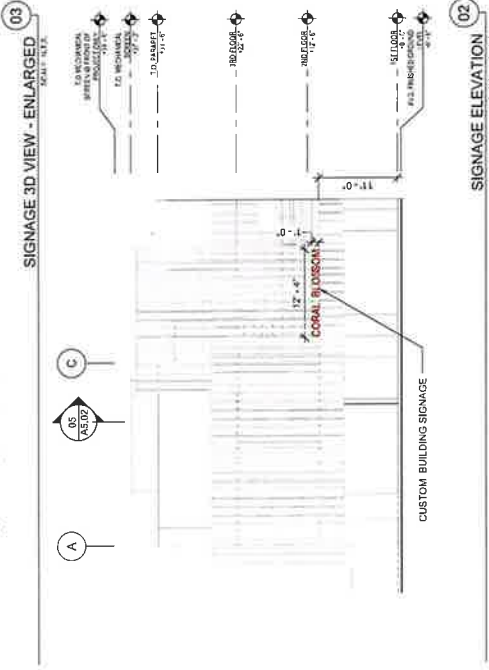
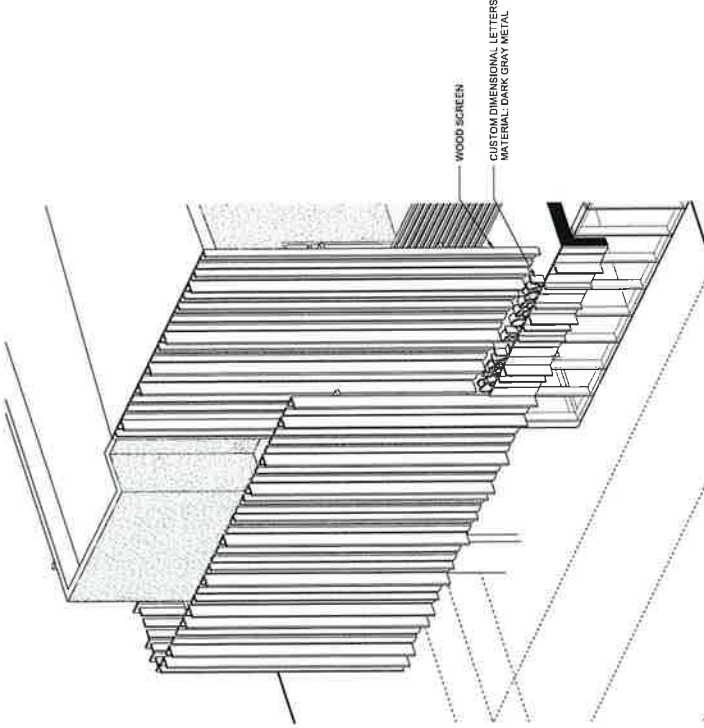
CORAL BLOSSOM APARTMENTS
6484 ELK GROVE FLORIN RD
ELK GROVE, CA 95624
PROJECT NUMBER: 240110

SHEET TITLE: BUILDING SECTIONS
SCALE: 1/8" = 1'-0"
DATE PRINTED: 5/15/2024
DESIGNED BY: BROOKS SCARPA ARCHITECTS INC.
CHECKED BY: BROOKS SCARPA ARCHITECTS INC.
OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.



BROOKS SCARPA ARCHITECTS INC.
208 W. 18TH STREET
SACRAMENTO, CA 95833
TEL: 916.442.4000

A5.02



BROOKS SCARPA

ENTITLEMENT SET REVISION #1
2024-03-29
2024-05-15

CORAL BLOSSOM APARTMENTS
8464 ELK GROVE FLORIN RD.
ELK GROVE, CA 95624
PROJECT NUMBER: 240010

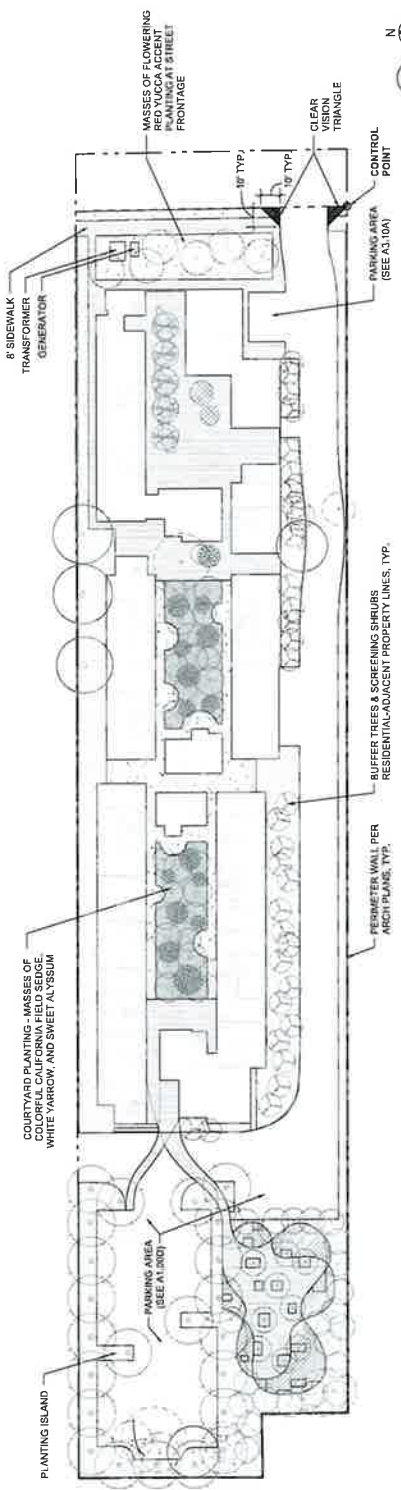
SHEET TITLE: SIGNAGE & FENCE DETAILS
SCALE: As indicated
DATE PRINTED: 5/15/2024
BY: [Signature]
CHECKED BY: [Signature]
DESIGNED BY: [Signature]
PROJECT ARCHITECT: [Signature]

BROOKS SCARPA ARCHITECTS, INC.
205 W. SHENBELL
MARTINEZ, CA 94530
(925) 938-1111

A9.05

NOTES

CLEAR VISION TRIANGLE: NO TREES OR SHRUBS WITH A FULL-GROWN HEIGHT EQUAL TO OR GREATER THAN THE CLEAR VISION TRIANGLE AT DRIVEWAYS (SEE EGMC SECTION 23.54.040(C3))



LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"

REF: A.1.04

ENTITLEMENT SET
ENTITLEMENT SET REVISION 1

2024-04-29
2024-05-15

BROOKS SCARPA

8484 ELK GROVE FLORIN RD,
ELK GROVE, CA 95724
PROJECT NUMBER: 240010

CORAL BLOSSOM APARTMENTS

SHEET TITLE: LANDSCAPE PLAN

SCALE: AS SHOWN

DATE PRINTED: 05/15/2024

PROJECT NUMBER: 240010

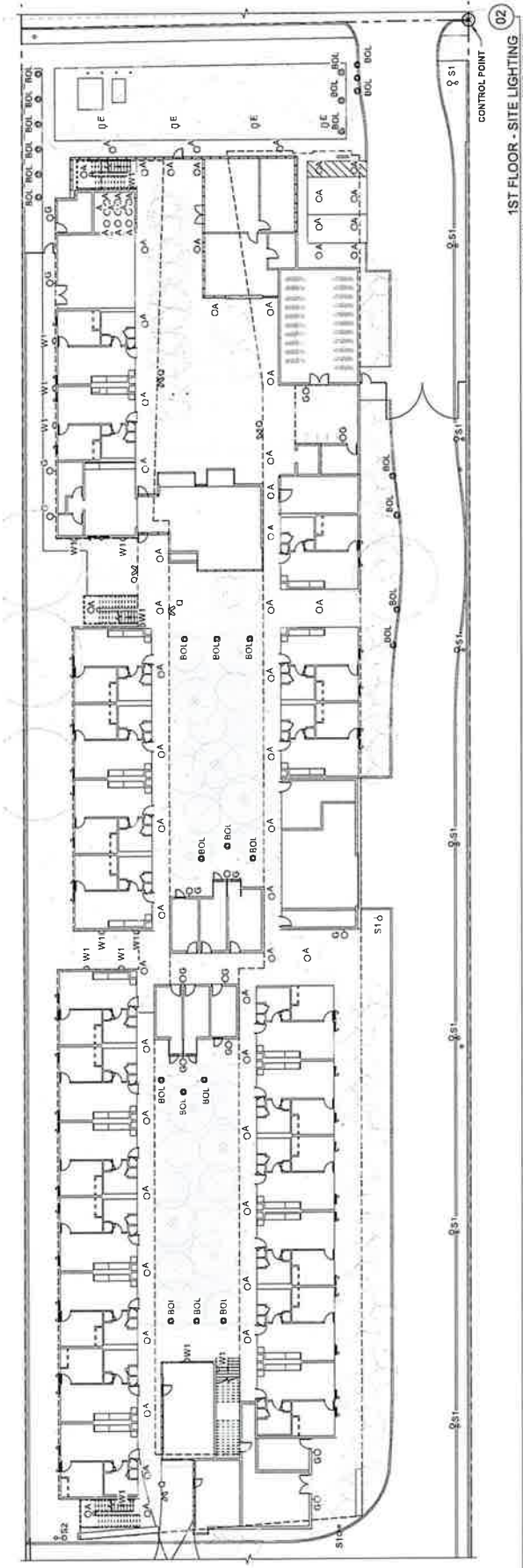
PROJECT NAME: CORAL BLOSSOM APARTMENTS

ARCHITECT: BROOKS SCARPA ARCHITECTS, INC.

3000 W. 120TH STREET
FREMONT, CA 94538
415.871.1111

L1.00

QTY	NAME / DIMENSION	SIZE	WATER USAGE	FOLIAGE TYPE	SIZE (H X W)	CA NATIVE?	HARDSCAPE	QTY	NAME
10	EUCALYPTUS (7' - 25' D)	1 GAL	LOW	DECIDUOUS	70' X 20'	NO	SCORED CONCRETE	11,200 SQ FT	SCORED CONCRETE
10	EUCALYPTUS (15' - 35' D)	24" BOX	VERY LOW	DECIDUOUS	15' X 15'	YES	CONCRETE	3,750 SQ FT	CONCRETE
1	PALM (60" D)	24" BOX	LOW	EVERGREEN	30' X 30'	NO	UNCOMPACTED DECOMPOSED GRANITE	1,700 SQ FT	UNCOMPACTED DECOMPOSED GRANITE
5	AMELANCHIER LAMARCKII / JUNEBERRY	1 GAL	MEDIUM	DECIDUOUS	60' X 60'	NO	VEHICLE CONCRETE	21,484 SQ FT	VEHICLE CONCRETE
23	JUGLANS HINDSII / NORTHERN BLACK WALNUT	1 GAL	MEDIUM	DECIDUOUS	60' X 60'	YES			
NEW PLANT AND HARDSCAPE SCHEDULE									
QTY	NOTATIONAL COMMON NAME	SIZE	WATER USAGE	FOLIAGE TYPE	SIZE (H X W)	CA NATIVE?	HARDSCAPE	QTY	NAME
320	HESPERALOE PARVIFLORA / RED YUCCA	1 GAL	35" O.C.	LOW	4' X 4'	NO		0 (R91) - 0	17 (245.5) = 4.172
487	CERATOSTIGMA PLUMBAGINOIDES / DWARF PLUMBAGO	1 GAL	18" O.C.	LOW	1' X 1'	NO		7,895 SQ FT	
782	PEROVSKIA ATRIPLICIFOLIA 'CRAZY BLUE' / RUSSIAN SAGE	1 GAL	18" O.C.	LOW	3' X 3'	NO		7,895 SQ FT	
1190	CEANOTHUS GLORIOSUS / POINT REYES	1 GAL	35" O.C.	LOW	6' X 3'	YES		4,172 SQ FT	7,895 SQ FT
1580	ROMNEYA CALIFORNICA / CALIFORNIA FIELD SEDGE	1 GAL	18" O.C.	LOW	3' X 3'	YES		4,172 SQ FT	7,895 SQ FT
167	15% ACHILLEA MILLEFOLIUM / WHITE YARROW	1 GAL	24" O.C.	LOW	3' X 2'	YES		40% REQ'D	40% PROVIDED
888	5% LOBELARIA VARITIMA / SWEET ALYSSUM	1 GAL	5" O.C.	LOW	2' X 8"	NO			
GROUND COVERS									
438	33% MARCHONIA REPENS / CREEPING BARBERY	1 GAL	35" O.C.	LOW	1' X 3'	YES		93,051 SQ FT	
438	33% ERIGONIA CANADENSIS / WHITE WINDMILL	1 GAL	35" O.C.	LOW	4' X 3'	YES		31,797 SQ FT	93,051 SQ FT = 34%
438	33% ENGELMANNIA CALIFORNICA BRITTLERBUSH	1 GAL	35" O.C.	LOW	3' X 3'	YES		20% REQ'D	20% PROVIDED



1ST FLOOR - SITE LIGHTING

REF: PLUMBING SYMBOLS

SCALE: 1/8" = 1'-0"

DATE PRINTED: 5/15/2024

PROJECT NUMBER: 20010

2024-05-15

ENTITLEMENT SET REVISION 1

ENTITLEMENT SET

2024-05-29

8484 ELK GROVE FLORIN RD.

ELK GROVE, CA 95624

CORAL BLOSSOM APARTMENTS

SHEET TITLE: 1ST FLOOR - SITE LIGHTING

SCALE: 1/8" = 1'-0"

DATE PRINTED: 5/15/2024

PROJECT NUMBER: 20010

2024-05-15

ENTITLEMENT SET REVISION 1

ENTITLEMENT SET

2024-05-29

8484 ELK GROVE FLORIN RD.

ELK GROVE, CA 95624

CORAL BLOSSOM APARTMENTS

SHEET TITLE: 1ST FLOOR - SITE LIGHTING

SCALE: 1/8" = 1'-0"

DATE PRINTED: 5/15/2024

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ENTITLEMENT SET REVISION 1

ENTITLEMENT SET

2024-05-29

8484 ELK GROVE FLORIN RD.

ELK GROVE, CA 95624

CORAL BLOSSOM APARTMENTS

SHEET TITLE: 1ST FLOOR - SITE LIGHTING

SCALE: 1/8" = 1'-0"

DATE PRINTED: 5/15/2024

PROJECT NUMBER: 20010

2024-05-15

ENTITLEMENT SET REVISION 1

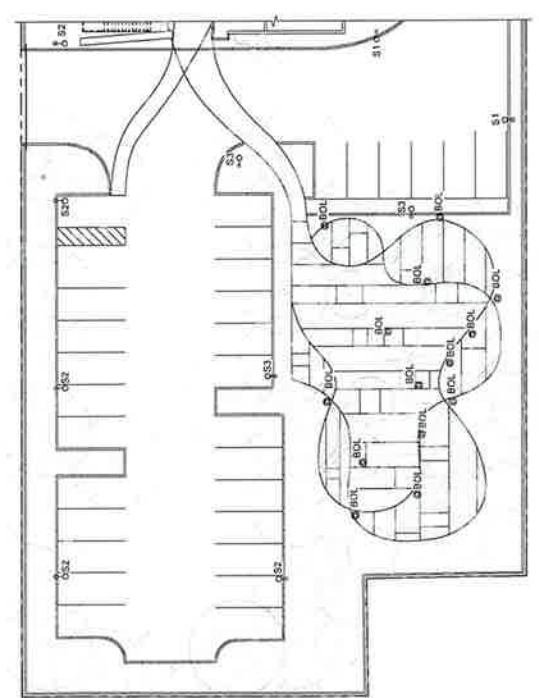
ENTITLEMENT SET



WOODS + SCARPA ARCHITECTURE, INC.
200 W. UNIVERSITY
SUITE 100
SANTA ANA, CA 92705

E1.01

TYPE	NAME	MANUF.	MODEL	SIZE	LED COLOR/TIMING LAMP	REMARKS
A	RECESSED CAN LIGHTING	SLIM-RW-2BK	BL1000	4" RECESSED 1/2" TALL BOLLARD	WHITE	RECESSED CAN LIGHTING @ 1ST, 2ND & 3RD FLOOR
BOL	L-SHAPED BOLLARD	LUMOX LIGHTING	A1320	1/2" TALL BOLLARD	SILVER	LANDSCAPE PATHWAY LIGHTING
E	LANDSCAPE WALL MOUNT LIGHTING	LUMOX LIGHTING	A1320	4" SQUARE	SILVER	LANDSCAPE LIGHT
G	DIRECTIONAL WALL MOUNT LIGHTING	LUMOX LIGHTING	A1320	4" SQUARE	SILVER	SURFACE MOUNTED ON BUILDING
Q	FACE MOUNTED DIRECTIONAL LIGHTING	LUMOX LIGHTING	A1320	4" SQUARE	SILVER	SURFACE MOUNTED ON CEILING
S1	POLE LIGHT	LUMOX LIGHTING	A1320	4" SQUARE	SILVER	PARKING LOT AND DRIVE AISLE, MOUNTED @ 14'
S2	DOUBLE POLE LIGHT	LUMOX LIGHTING	A1320	4" SQUARE	SILVER	PARKING LOT AND DRIVE AISLE, MOUNTED @ 14'
S3	POLE LIGHT	LUMOX LIGHTING	A1320	4" SQUARE	SILVER	PARKING LOT AND DRIVE AISLE, MOUNTED @ 14'
W1	WALL LUMINAIRE	LUMOX LIGHTING	A1320	4" SQUARE	SILVER	SURFACE MOUNTED ON BUILDING



PARKING - SITE LIGHTING

REF: PLUMBING SYMBOLS

SCALE: 1/8" = 1'-0"

DATE PRINTED: 5/15/2024

PROJECT NUMBER: 20010

2024-05-15

ENTITLEMENT SET REVISION 1

ENTITLEMENT SET

2024-05-29

8484 ELK GROVE FLORIN RD.

ELK GROVE, CA 95624

CORAL BLOSSOM APARTMENTS

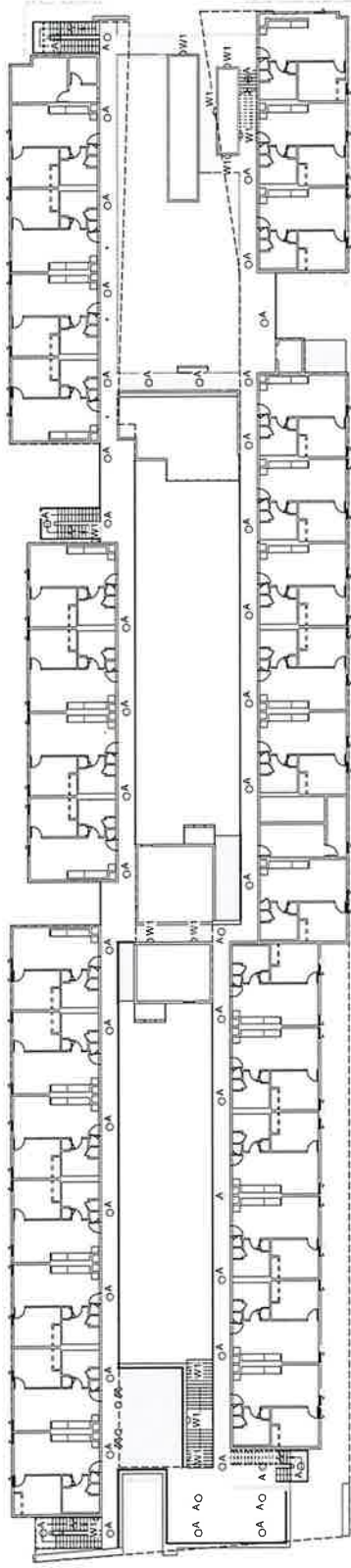
SHEET TITLE: 1ST FLOOR - SITE LIGHTING

SCALE: 1/8" = 1'-0"

DATE PRINTED: 5/15/2024

PROJECT NUMBER: 20010

2024-05-15



02 2ND FLOOR - SITE LIGHTING
SCALE: 1/8" = 1'-0"

ENTITLEMENT SET
ENTITLEMENT SET REVISION 1
2024-03-29
2024-05-15

CORAL BLOSSOM APARTMENTS
8484 ELK GROVE FLORIN RD,
ELK GROVE, CA 95759
PROJECT NUMBER: 202403

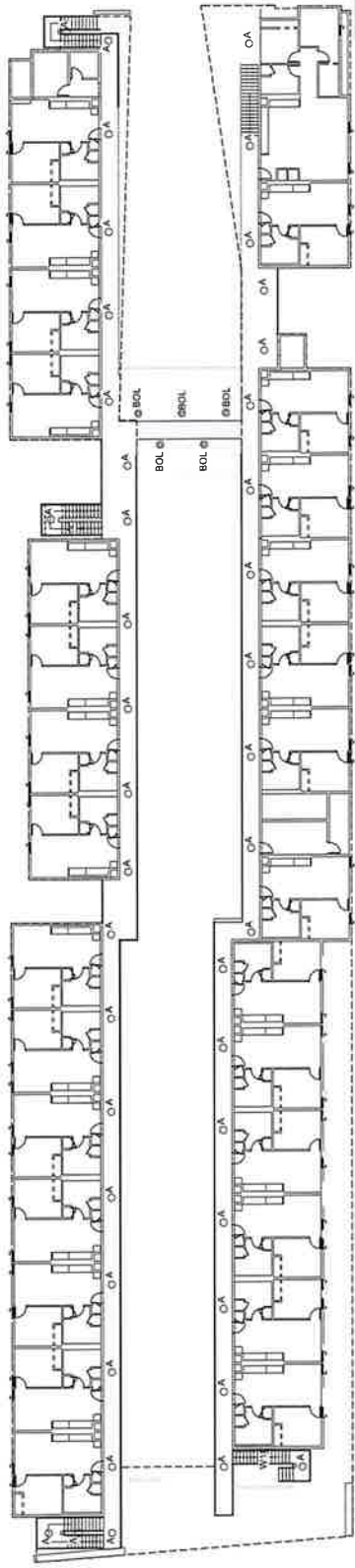
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SCALE: 1/8" = 1'-0"
DATE PRINTED: 5/15/2024
REVISIONS: 1. CORRECTED ANNOTATIONS AND UNPUBLISHED WORK
2. REVISED LIGHTING SYMBOLS AND UNPUBLISHED WORK
3. REVISED LIGHTING SYMBOLS AND UNPUBLISHED WORK
OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.



BROOKS + SCARPA ARCHITECTURE INC.
300 W. 120TH STREET
MILWAUKEE, WI 53224
TEL: 414.224.1122

E1.02

LIGHTING SCHEDULE							REMARKS
TYPE	NAME	MANUF.	MODEL	SIZE	COLOR/FINISH	LAMP	
A	RECESSED CAN	LITLINE	SUMI-4N-30K	4" RECESSED LIGHT	WHITE	LED	TYPICAL @ 1ST, 2ND & 3RD FLOOR WALKWAYS
BOL	L-SHAPED BOLLARD	LUMIX LIGHTING	BL1000	18" TALL BOLLARD	SILVER	LED	LANDSCAPE PATHWAY LIGHTING
E	LANDSCAPE LIGHT	LITON LIGHTING	402346-SZ-L15-845UE-01	4" ROUND	SILVER	LED	LANDSCAPE LIGHT
G	DIRECTIONAL WALL MOUNT	LITON LIGHTING	W170485-X-CRIS-X-KUP-1"	4" SQUARE	SILVER	LED	SURFACE MOUNTED ON BUILDING
Q	FACE MOUNTED BOLLARD LIGHTING	LITON LIGHTING	WM-18 LED-E85		SATIN ALUMINUM	LED	SURFACE MOUNTED ON CEILING
S1	POLE LIGHT	LUMICA	L40-36LEDUS 60W-120V		SILVER	LED	PARKING LOT AND DRIVE AISLE MOUNTED @ 14'
S2	DOUBLE POLE LIGHT	LUMICA	L40-48-35LED07 80W-120V		SILVER	LED	PARKING LOT AND DRIVE AISLE MOUNTED @ 14'
S3	POLE LIGHT	LUMICA	L40-36LED07 60W-120V		SILVER	LED	PARKING LOT AND DRIVE AISLE MOUNTED @ 14'
W1	WALL LUMINAIRE	LITON LIGHTING	WS750SH-11-3U		SILVER	LED	SURFACE MOUNTED ON BUILDING



3RD FLOOR - SITE LIGHTING
SCALE: 1/8" = 1'-0"

ENTITLEMENT SET
ENTITLEMENT SET REVISION 1

2024-03-29
2024-05-15

CORAL BLOSSOM APARTMENTS
8484 ELK GROVE FLORIN RD
ELK GROVE, CA 95824
PROJECT NUMBER: 240010



SHEET TITLE: 3RD FLOOR - SITE LIGHTING
SCALE: 1/8" = 1'-0"
DATE PRINTED: 5/15/2024
DRAWN BY: SCARPA ARCHITECTS INC. 5/15/2024
CHECKED BY: SCARPA ARCHITECTS INC. 5/15/2024
APPROVED BY: SCARPA ARCHITECTS INC. 5/15/2024
PROJECT ARCHITECT: SCARPA ARCHITECTS INC.
ARCHITECT:

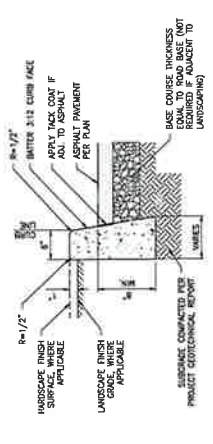
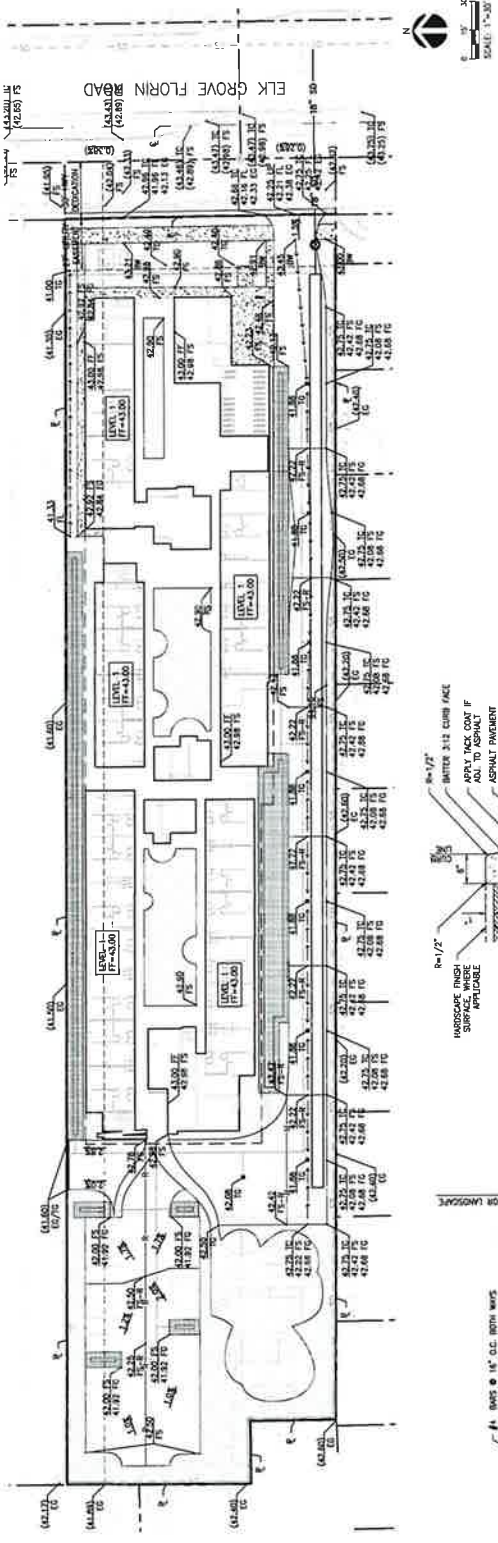
SCARPA ARCHITECTS INC.
300 N. DUMMIT STREET
MARTINEZ, CA 94553
(925) 938-8888

E1.03

TYPE	NAME	MANUF.	MODEL	SIZE	COLOR/FINISH	LAMP	REMARKS
A	RECESSED CAN	UTELINE	SUFT-4W-3JK	4" RECESSED 1/8" DEEP	WHITE	LED	SPACES @ 1ST, 2ND & 3RD FLOOR WALKWAYS
BOL	L-SHAPED BOLLARD	LUXOX LIGHTING	BL1000	16" TALL BOLLARD	SILVER	LED	LANDSCAPE PATHWAY LIGHTING
E	LANDSCAPE LIGHT	UTON LIGHTING	A23240-82415-848J6-0J	4" ROUND	SILVER	LED	LANDSCAPE LIGHT
G	DIRECTIONAL WALL MOUNT	UTON LIGHTING	WTC0045X-G635-A-3A-J6- DUN-720X	4" SQUARE	SILVER	LED	SURFACE MOUNTED ON BUILDING
Q	FACE MOUNTED DIRECTIONAL LIGHTING	B-X LUMICA	WM - 18 LED - E85	18" SQUARE	SATIN ALUMINUM	LED	SURFACE MOUNTED ON CEILING
S1	POLE LIGHT	LUMICA	LS 30 LED 60W-720V L348SS-30K	30" TALL	SILVER	LED	PARKING LOT AND DRIVE ASBLE, MOUNTED @ 14'
S2	DOUBLE POLE LIGHT	LUMICA	LQ44 36 LED 80W 120V L4 30K HSS	48" TALL	SILVER	LED	PARKING LOT AND DRIVE ASBLE, MOUNTED @ 14'
S3	POLE LIGHT	LUMICA	LCS-30K LCS-30K	30" TALL	SILVER	LED	PARKING LOT AND DRIVE ASBLE, MOUNTED @ 14'
W1	WALL LUMINAIRE	LITON LIGHTING	WS75A584-11-30	11" TALL	SILVER	LED	SURFACE MOUNTED ON BUILDING

LEGEND

---	PROPERTY LINE
---	ROOF OUTLINE
---	EXTENT OF FOOTING
---	RETAINING WALL
---	LANDSCAPE AREA PER LANDSCAPE PLANS
---	BIODEGRADABLE PLANTER
---	SITE CONCRETE
---	PAVING PER LANDSCAPE PLANS
---	GRAVEL FINISH PER LANDSCAPE PLANS
---	ASPHALT CONCRETE FINISHMENT



- NOTES:**
1. ISOLATION JOINTS SHALL BE PLACED ONLY AS SPECIFIED.
 2. CONTROL JOINTS CONSISTING OF 1" DEEP SLOTTES SHALL BE PLACED AT 10' INTERVALS O.C.
 3. THE WALK IS ADJACENT TO THE CURB, THE JOINTS SHALL ALIGN WITH JOINTS IN THE WALK.



- NOTES:**
1. ALL THRESH SURFACES SHALL BE SLP-RESISTANT.
 2. REFER TO LANDSCAPE DRAWINGS FOR COLOR, PATTERN, TEXTURE, AND FINISH.
 3. SEE PLAN FOR LOCATION OF CONTROL JOINTS.
 4. WHERE ADJACENT PAVING OCCURS, THRESHED EDGE SHALL EXTEND 12" BELOW FINISHED GRADE.



- NOTES:**
1. PAVEMENT SECTIONS ARE BASED ON RECOMMENDATIONS FROM THE PROJECT GEOTECHNICAL REPORT.
 2. REFER TO ARCHITECTURAL PLANS FOR CONCRETE COLOR, PATTERN, TEXTURE, AND FINISH.
 3. SEE PLAN FOR LOCATION OF CONTROL JOINTS.
 4. DETAIL IS SUBJECT TO CHANGE PENDING THE SOILS REPORT.

AC PAVEMENT TYPE (INCHES)	BASE COURSE (INCHES)	RECOMMENDED SUBGRADE (INCHES)
VEHICULAR PARKING	5"	2"
HEAVY TRUCK TRAFFIC	5"	2"



- NOTES:**
1. PAVEMENT SECTIONS ARE BASED ON RECOMMENDATIONS FROM THE PROJECT GEOTECHNICAL REPORT.
 2. DETAIL IS SUBJECT TO CHANGE PENDING THE SOILS REPORT.

ENTITLEMENT SET
ENTITLEMENT SET REVISION 1

2024-03-29
 2024-05-07

CORAL BLOSSOM APARTMENTS
 5484 ELK GROVE FLORIN RD.
 ELK GROVE, CA 95624
 PROJECT NUMBER: 240610

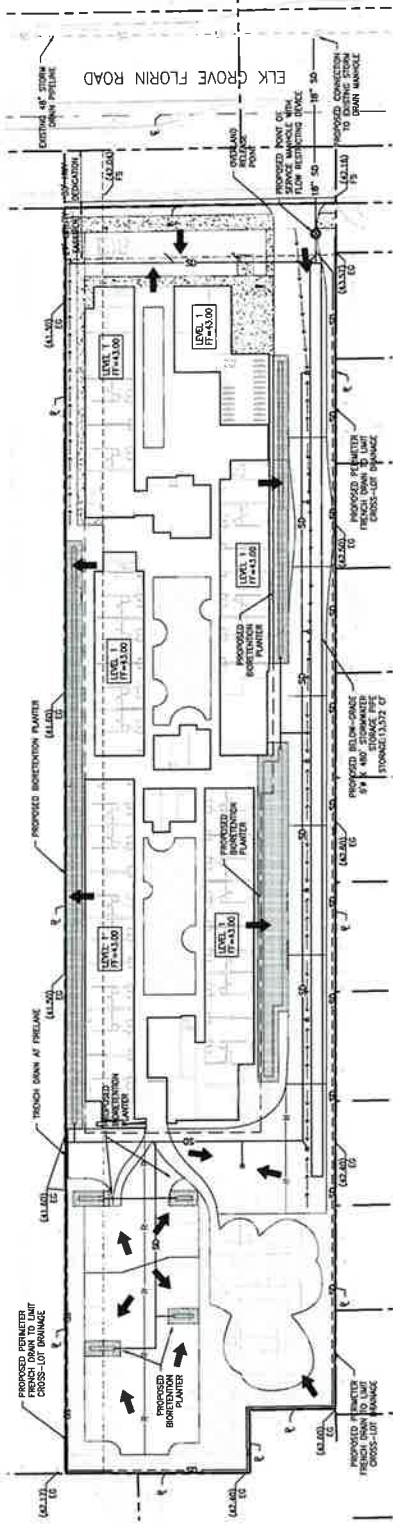
SHEET TITLE
PRELIMINARY GRADING PLAN
 SCALE: AS SHOWN
 ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE IN FEET AND INCHES. DIMENSIONS SHALL BE TO THE CENTERLINE OF THE PAVEMENT UNLESS OTHERWISE SPECIFIED.
 ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE PAVEMENT UNLESS OTHERWISE SPECIFIED.

LFA
 LANDSCAPE ARCHITECTURE
 11111 17TH AVENUE, SUITE 100
 ELK GROVE, CA 95624
 TEL: 916.232.9100
 FAX: 916.232.9104

C2.10

LEGEND

---	PROPERTY LINE
---	ROOF OUTLINE
---	EXTENT OF FOOTING
█	RETAINING WALL
█	LANDSCAPE AREA PER LANDSCAPE PLANS
█	BIORETENTION PLANTER
█	SITE CONCRETE
█	PAVING PER LANDSCAPE PLANS
█	GRAVEL FINISH PER LANDSCAPE PLANS
█	ASPHALT CONCRETE PAVEMENT

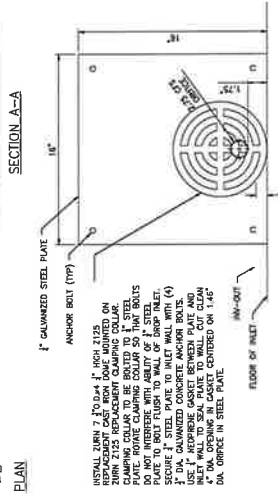
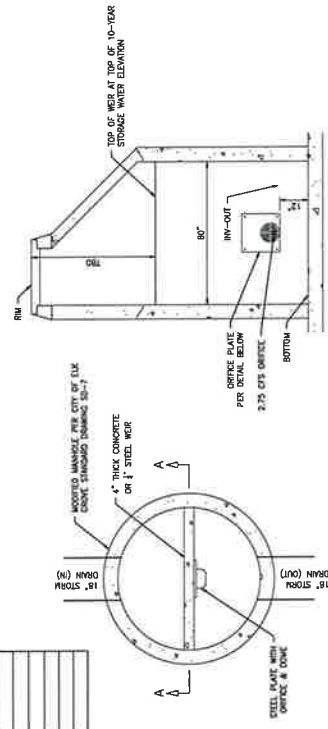
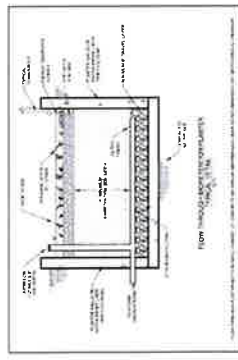


PRE-DEVELOPMENT SUMMARY

PROJECT AREA	83,000 SF / 2.138 AC
PERVIOUS AREA	80,432 SF
IMPERVIOUS AREA	12,568 SF
CATCHMENT AREA (NATIONAL METHOD)	13,303 SF
10-YEAR 24-HR DDPH	3.31"
10-YEAR STORM VOLUME (NATIONAL METHOD)	2,577 CF
10-YEAR PEAK FLOW (EAC METHOD)	2.25 CFS

PROPOSED STORMWATER SUMMARY

PROJECT AREA	83,000 SF / 2.138 AC
PERVIOUS AREA	18,884 SF
IMPERVIOUS AREA	73,206 SF
CATCHMENT AREA (NATIONAL METHOD)	67,288 SF
10-YEAR 24-HR DDPH	3.31"
10-YEAR STORM VOLUME (NATIONAL METHOD)	16,794 CF
10-YEAR PEAK FLOW (EAC METHOD)	2.1 CFS
POST-BASIS PER 10-YEAR VOLUME	4.4 CFS
POST-BASIS PER 10-YEAR PEAK FLOW	1.000 CFS
STORAGE VOLUME PROPOSED	13,572 CF



1 FLOW THROUGH BIORETENTION PLANTER TYPICAL DETAIL

2 CITY MODIFIED MANHOLE NO. 4 WITH SUMP & TRAP AND ORIFICE PLATE DETAIL

ENTITLEMENT SET
ENTITLEMENT SET REVISION 1

2024-03-29
2024-05-07

CORAL BLOSSOM APARTMENTS

8684 ELK GROVE FLORIN RD.
ELK GROVE, CA 95624
PROJECT NUMBER: 240610

LFA
LAW FIRM ASSOCIATES
1111 MAIN STREET
ELK GROVE, CA 95624
TEL: 916.733.3100
WWW.LFA-ASSOCIATES.COM

STORMWATER QUALITY CONCEPTUAL PLAN

SHEET TITLE
SCALE: PRINTED
DATE: 05/07/2024
DRAWN BY: [Name]
CHECKED BY: [Name]
APPROVED BY: [Name]

C3.00

Exhibit C
Coral Blossom Apartments (PLNG24-011)
Project Conditions of Approval

<u>Conditions of Approval</u>				<u>Timing/ Implementation</u>	<u>Enforcement / Monitoring</u>	<u>Verification (date and Signature)</u>
ON-GOING						
1.	Development and operation of the proposed Project shall be consistent with the Project Description and Project Plans as provided in Exhibits A and B, incorporated herein by this reference. Deviations from the approved plans shall be reviewed by the City for substantial compliance and may require amendment by the appropriate hearing body.		On-Going	Planning		
2.	This action does not relieve the Applicant of the obligation to comply with all applicable ordinances, statutes, regulations, and procedures.		On-Going	Planning		
3.	The Applicant, or Successors in Interest (hereinafter referred to as the Applicant) shall indemnify, protect, defend, and hold harmless the City, its officers, officials, agents, employees, and volunteers from and against any and all claims, damages, demands, liability, costs, losses or expenses including without limitation court costs, reasonable attorney's fees and expert witness fees arising out of this Project including challenging the validity of this Application/permit or any environmental or other documentation related to approval of this application.		On-Going	Planning		
4.	As to any fee, dedication, reservation or exaction established by these conditions of approval that are subject to the Mitigation Fee Act, notice is hereby given pursuant to California Government Code Section 66020(d) that the 90-day period in which you may protest the fees set forth herein has begun to run as of the date of approval of this Project. Other limitations periods may apply. The City reserves all rights		On-Going	Planning		

Exhibit C
Coral Blossom Apartments (PLNG24-011)
Project Conditions of Approval

<u>Conditions of Approval</u>	<u>Timing/ Implementation</u>	<u>Enforcement / Monitoring</u>	<u>Verification (date and Signature)</u>
<p>5. Except as otherwise specified or provided for in the Project plans or in these conditions, the Project shall conform to the development standards and design requirements adopted by the City of Elk Grove and in effect at the time the Project application was deemed complete, specifically including but not limited to the following:</p> <ul style="list-style-type: none"> • The Elk Grove Zoning Code (Title 23 of the EGMC) • Elk Grove Municipal Code (EGMC) Chapter 14.10 (Water Efficient Landscape Requirements) • EGMC Title 16 (Building and Construction) • EGMC Title 22 (Land Development) 	On-Going	Planning	
<p>6. The Applicant shall design and construct all improvements in accordance with the City of Elk Grove Improvement Standards, as further conditioned herein, and to the satisfaction of the City. Specific locations on median(s) that require emergency vehicle access will be evaluated during review and acceptance of the Improvement Plans.</p> <p>Public sewer, water, and other utility infrastructure shall be designed and constructed pursuant to the standards of the appropriate utility</p>	On-Going	Engineering SCWA SacSewer SMUD PG&E	
<p>7. The Applicant shall pay all lawfully imposed plan check fees, impact fees, or other costs as required by the City, the Cosumnes Community Services District (CCSD), Sacramento Area Sewer District (SacSewer), Sacramento County Water Agency (SCWA), or other agencies or services providers as established by law.</p>	On-Going	Planning Engineering Building CCSD SCWA SacSewer	
<p>8. Approval of this Project does not relieve the Applicant from the requirements of subsequent permits and approvals, including but not limited to the following as may be applicable:</p> <ul style="list-style-type: none"> • Grading Permit and Improvement Plans • Building Permit and Certificate of Occupancy • Fire Department review for permits and/or occupancy 	On-Going	Planning Engineering Building CCSD SCWA SacSewer	

Exhibit C
Coral Blossom Apartments (PLNG24-011)
Project Conditions of Approval

<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement / Monitoring</u>	<u>Verification (date and Signature)</u>
9.	The trash enclosures shall be locked when not in use and maintained consistent with applicable City standards	On-Going	Code Enforcement Planning	
10.	If cultural resources or tribal cultural resources are discovered during grading or construction activities on the Project Site, work shall halt immediately within 50 feet of the discovery, the Planning Department shall be notified, and a professional archaeologist meeting the Secretary of the Interior's Professional Qualifications Standards in archaeology shall be retained to determine the significance of the discovery. If resources are determined to be potentially significant, the City shall require the preparation of a treatment plan and report of findings for cultural and tribal cultural resources. The City and the applicant shall consult and agree to implement all measures the City deems feasible. Such measures may include avoidance, preservation in place, excavation, documentation, curation, data recovery, or other appropriate measures. The Applicant shall be required to implement measures necessary for the protection and documentation of cultural resources. A note stating the above shall be placed on the Improvement Plans	On-Going and Prior to Improvement Plans or Grading Permit, whichever occurs first.	Planning	
11.	All construction must stop if any human remains are uncovered, and the County Coroner must be notified according to Section 7050.5 of California's Health and Safety Code. If the remains are determined to be Native American, the procedures outlined in State CEQA Guidelines Section 15064.5 (d) and (e) shall be followed. A note stating the above shall be placed on the Improvement Plans	On-Going and Prior to Improvement Plans or Grading Permit(s), whichever occurs first.	Planning	

Exhibit C
Coral Blossom Apartments (PLNG24-011)
Project Conditions of Approval

<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement / Monitoring</u>	<u>Verification (date and Signature)</u>
12.	<p>Before the start of any earthmoving activities, the Project owner shall retain a qualified scientist (e.g., geologist, biologist, paleontologist) to train all construction personnel involved with earthmoving activities, including the site superintendent, regarding the possibility of encountering fossils, the appearance and types of fossils likely to be seen during construction, and proper notification procedures should fossils be encountered. Training on paleontological resources shall also be provided to all other construction workers but may use videotape of the initial training and/or written materials rather than in-person training.</p> <p>If any paleontological resources (fossils) are discovered during grading or construction activities within the Project area, work shall be halted immediately within 50 feet of the discovery, and the City Planning Division shall be immediately notified. The Project owner will retain a qualified paleontologist to evaluate the resource and prepare a recovery plan in accordance with Society of Vertebrate Paleontology guidelines (SVP 2010). The recovery plan may include but is not limited to a field survey, construction monitoring, sampling and data recovery procedures, museum storage coordination for any specimen recovered, and a report of findings. Recommendations in the recovery plan that are determined by the City to be necessary and feasible will be implemented by the applicant before construction activities resume in the area where the paleontological resources were discovered.</p>	On-Going and Prior to Improvement Plans or Grading Permit(s), whichever occurs first.	Planning	
13.	<p>Signage is not approved with this application. Future signs shall be reviewed under a separate Sign Permit application and shall comply with the objective development standards set forth in EGMC Chapter 23.62.</p>	On-Going	Planning	
14.	<p>SMUD has existing underground 12kV facilities near the south-east parcel boundary that will need to remain. The Applicant shall be responsible for maintaining all CalOSHA and State of California Public Utilities Commission General Order No. 128 safety clearances during construction and upon building completion. If the required clearances cannot be maintained, the Applicant shall be responsible for the cost of relocation.</p>	On-Going	SMUD	

Exhibit C
Coral Blossom Apartments (PLNG24-011)
Project Conditions of Approval

<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement / Monitoring</u>	<u>Verification (date and Signature)</u>
15.	Any necessary future SMUD facilities located on the Applicant's property shall require a dedicated SMUD easement. This will be determined prior to SMUD performing work on the Applicant's property.	On-Going	SMUD	
16.	In the event the Applicant requires the relocation or removal of existing SMUD facilities on the subject property, the Applicant shall coordinate with SMUD. The Applicant shall be responsible for the cost of relocation or removal.	On-Going	SMUD	
17.	SMUD reserves the right to use any portion of its easements on the subject property that it reasonably needs and shall not be responsible for any damages to the developed property within said easement that unreasonably interferes with those needs.	On-Going	SMUD	
18.	The Applicant shall not place any building foundations within 5-feet of any SMUD trench to maintain adequate trench integrity. The Applicant shall verify specific clearance requirements for other utilities (e.g., Gas, Telephone, etc.).	On-Going	SMUD	
19.	The Applicant shall comply with SMUD siting requirements (e.g., panel size/location, clearances from SMUD equipment, transformer location, service conductors). Information regarding SMUD siting requirements can be found at: https://www.smud.org/en/Business-Solutions-and-Rebates/Design-and-Construction-Services .	On-Going	SMUD	
20.	The Applicant shall dedicate any private drive, ingress and egress easement, (and 10-foot adjacent thereto) as a public utility easement for (overhead and) underground facilities and appurtenances. All access roads shall meet minimum SMUD requirements for access roads.	On-Going	SMUD	
21.	The Applicant shall dedicate and provide all-weather vehicular access for service vehicles that are up to 26,000 pounds. At a minimum: (a) the drivable surface shall be 20-foot wide; and (b) all SMUD underground equipment and appurtenances shall be within 15-foot from the drivable surface.	On-Going	SMUD	

Exhibit C
Coral Blossom Apartments (PLNG24-011)
Project Conditions of Approval

<u>Conditions of Approval</u>	<u>Timing/ Implementation</u>	<u>Enforcement / Monitoring</u>	<u>Verification (date and Signature)</u>
<p>22. The Applicant shall reconstruct any damaged curb, gutter, sidewalk and/or pavement caused by construction-related activities associated with the Project site. If pavement replacement is necessary, as determined by the City, the Applicant may be required to grind, overlay, and/or slurry seal the damaged portion(s) in accordance with the City Improvement Standards and to the satisfaction of the City. The Applicant shall schedule an inspection with the City to document the pre-construction condition of existing surface infrastructure adjacent to and near the Project.</p>	On-Going	Engineering	
<p>23. There shall be at least a 13-foot, 6-inch vertical clearance for any trees that overhang over the fire lanes.</p>	On-Going	CCSD Fire	
<p>24. The installation of on-site traffic calming devices such as but not limited to speed bumps, humps, or other designs are prohibited unless approved by the fire code official with CCSD-Fire.</p>	On-Going	CCSD Fire	
<p>25. All fire and life safety systems, including but not limited to, the fire sprinkler system and fire alarm system, shall be maintained in accordance with California Code of Regulations Title 19. Inspection, testing, and maintenance reports shall be submitted to the Cosumnes Fire Department online reporting system.</p>	On-Going	CCSD Fire	

Exhibit C
Coral Blossom Apartments (PLNG24-011)
Project Conditions of Approval

<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement / Monitoring</u>	<u>Verification (date and Signature)</u>
PRIOR TO OR IN CONJUNCTION WITH IMPROVEMENT AND/OR GRADING PLAN SUBMITTAL OR APPROVAL				
26.	The construction measures for the Project shall be subject to the objective local requirements for any land disturbance. This includes compliance with the Elk Grove Municipal Code and pre-construction surveys from a qualified biologist for nesting raptors and other birds prior to earth moving activities associated with construction. If any evidence of Swainson's hawk is found as a result of the pre-construction surveys, or if it is found that the subject site is suitable foraging habitat, the Applicant shall comply with the mitigation measures set forth in Elk Grove Municipal Code Chapter 16.130.	Prior to Improvement Plans or Grading Permit(s), whichever occurs first.	Planning	
27.	The Applicant shall prepare and submit a drainage study to the satisfaction of the City and in accordance with City of Elk Grove Storm Drainage Master Plan, Improvement Standards, General Plan, and any other applicable drainage master plans or studies.	Improvement Plans or Grading Permit(s), whichever occurs first	Engineering	
28.	The Applicant shall prepare and submit a Post-Construction Stormwater Quality Control Plan in accordance with the City of Elk Grove Improvement Standards and most recent version of the Stormwater Quality Design Manual for the Sacramento Region. The Applicant shall also submit a separate maintenance manual describing proper maintenance practices for the specific treatment controls to be constructed.	Improvement Plans or Grading Permit(s), whichever occurs first	Engineering	
29.	Low Impact Development (LID) features adopted in the Sacramento Region Stormwater Quality Manual (Manual) shall be implemented for the Project. All the designs shall be consistent with the design examples prescribed in the latest edition of the Manual.	Improvement Plans or Grading Permit(s), whichever occurs first	Engineering	
30.	The Applicant shall execute a maintenance agreement with the City for stormwater quality control treatment devices to the satisfaction of the City.	Improvement Plans	Engineering	

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31.	The main driveway opening on Elk Grove-Florin Road, along the Project's frontage shall be 35-feet wide and limited to right-in/right-out turn movements only.	Improvement Plans		
32.	To obtain sewer service, construction of SacSewer sewer infrastructure will be required. Current SacSewer Standards and Specifications apply to any offsite or onsite public sewer construction or modification. These improvements must be shown on the improvement plans. Field modifications to new or existing precast manhole bases are not allowed.	Improvement Plans	SacSewer	
33.	Lower Laterals must not directly connect to main lines more than 19 feet deep, and directly to trunk lines (lines with a flow greater than 1 MGD). Connections to the line on Elk Grove-Florin Road will not be allowed except at the manhole.	Improvement Plans	SacSewer	
34.	Alignment of all main lines and structures must provide a minimum of 1-foot vertical clearance and 5-foot horizontal clearance from all other utilities and improvements. Sewer is to be located a minimum of 10 feet (measured horizontally) from any structure or footing. Show public sanitary sewer and water supply facilities in accordance with the Health and Safety Code.	Improvement Plans	SacSewer	
35.	All onsite sewer plans and offsite sewer plans must be submitted to SacSewer for review and approval.	Improvement Plans	SacSewer	
36.	Installation of a public cleanout is required at the right of way on Elk Grove-Florin Road. These improvements must be shown on the plans.	Improvement Plans	SacSewer	
37.	The Applicant is responsible for installing collector sized sewer pipe line and appurtenances consistent with the applicable SacSewer standards and specifications across the parcel frontage. These improvements must be shown on the plans.	Improvement Plans	SacSewer	
38.	The minimum size for public sewer mainlines is 8-inch diameter. Public sewer must be located within the public right-of-way or a sewer easement. These improvements be shown on the plans.	Improvement Plans	SacSewer	

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39.	The proposed density is greater than what was in the SacSewer Master Plan. SacSewer will model the proposed density in the hydraulic model to determine if the downstream system is capacity constrained. If the results require upsizing the sewer system, upsizing shall comply with the applicable SacSewer standards and specifications and must be shown on the improvement plans.	Improvement Plans	SacSewer	
40.	All water lines shall be located within a public right-of-way or within easements dedicated to Sacramento County Water Agency (SCWA). Easements shall be reviewed and approved by SCWA prior to Improvement Plan approval.	Improvement Plans	SCWA	
41.	The City shall destroy all abandoned wells on the proposed Project site in accordance with the requirements of the Sacramento County Environmental Health Division. The Applicant shall clearly show abandoned/destroyed wells on the improvement plans for the Project.	Improvement Plans	SCWA	

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<p>42. The Project shall provide fire flow from a public water system that meets the fire flow requirements of the California Fire Code and the Cosumnes Fire Department. A minimum 10-inch looped fire main to supply on-site fire hydrants shall be provided. This on-site fire main shall be connected to the municipal water supply at two approved, remotely located points of connection to achieve two flow directions and be publicly maintained by the water purveyor (not private).</p> <p>If the fire main is also required to serve the adjacent parcel located at 8480 Elk Grove Florin Road, as determined at the time of entitlement approval for the future development of the 8480 parcel, the City or its successor owner of the 8480 parcel shall reimburse Applicant for the 8480 development's pro rata share of the cost to construct the fire main no later than issuance of building permits for the development of the 8480 parcel. To be eligible for reimbursement, the Applicant shall:</p> <ol style="list-style-type: none"> 1. Submit the final design of the fire main to the Development Services Director for review and approval; 2. Enter into a Reimbursement Agreement with the City prior to issuance of building permits for the Project or construction of the fire main, whichever comes first; and 3. Comply with all competitive bidding procedures and prevailing wage requirements as required by the City and State law. <p>If development of the 8480 parcel proceeds first and constructs the fire main to serve both the Project site and the 8480 site, then the Applicant shall reimburse the City and/or its successor owner, as directed by the City, for the Project's pro rata share of the cost to construct the fire main. The Applicant shall enter into a reimbursement agreement providing for such reimbursement prior to issuance of building permits for the Project or construction of the fire main, whichever comes first.</p> <p>The pro rata shares referenced above shall be calculated based on total square footage of the buildings.</p>	<p>Improvement Plans</p>	<p>CCSD Fire</p>	

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43.	On-site and off-site fire hydrants needed for the protection of structures shall be installed with a maximum spacing of 300 feet.	Improvement Plans	CCSD Fire	
44.	This Project is required to provide a fire control room at an approved location that meets the requirements of Section 901 of the California Fire Code and the Fire Control Room Design Standards.	Improvement Plans	CCSD Fire	
45.	"NO PARKING FIRE LANE" signs and/or red painted curbs shall be installed in accordance with the California Fire Code and to the satisfaction of the fire department. Width is measured from flow line to flow line or to edge of pavement if no curb provided.	Improvement Plans	CCSD Fire	
46.	Onsite and offsite fire department access routes shall provide a turning radius of 25-feet inside and 50 feet-outside (25 feet wide at and through the turn).	Improvement Plans	CCSD Fire	
47.	Project shall design a drop-off/pick up area for deliveries and other short-term parking needs.	Improvement Plans	CCSD Fire	
48.	As applicable due to fencing and firefighter access requirements, provide additional, approved fire department access gates equipped with Knox rapid entry devices at approved locations and to the satisfaction of the Cosumnes Fire Department.	Improvement Plans	CCSD Fire	
49.	Gates obstructing fire access routes (vehicular or pedestrian) shall comply with the Cosumnes Fire Department Emergency Access Gates and Barriers standard.	Improvement Plans	CCSD Fire	

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PRIOR TO OR IN CONJUNCTION WITH BUILDING PERMIT ISSUANCE				
50.	The Applicant shall execute a Right-of-Entry and Maintenance Agreement with the adjacent parcel to the north (8480 Elk Grove Florin Road; APN 115-0180-012) for the use and maintenance of the emergency access road.	Building Permit	Engineering	
51.	The City shall provide and Applicant shall obtain a quitclaim for the 20' access easement per Book 781113 OR 632, to the satisfaction of the City.	Building Permit	Engineering	
52.	The Applicant shall dedicate to the City a 12.5-foot public utility easement for underground facilities and appurtenances adjacent to Elk Grove-Florin Road along the Project's frontage.	Building Permit	Engineering	
53.	The Applicant shall dedicate to the City a pedestrian easement within the 36-foot landscape corridor on Elk Grove-Florin Road, along the Project's frontage to the satisfaction of the City	Building Permit	Engineering	
54.	The Applicant shall reconstruct any existing ADA compliance improvements adjacent to the Project to meet current standards.	Building Permit	Engineering	
55.	The Applicant shall obtain an emergency reciprocal access easement from the adjacent parcel to the north (8480 Elk Grove Florin Road; APN 115-0180-012) to the satisfaction of the City. If the City is able to obtain additional emergency reciprocal access through 8854 Calvine Road (APN 115-2010-010), the City may design and install an emergency access road, connecting to the 8854 Calvine Road property through the property at 8480 Elk Grove-Florin Road. If the City is unable to obtain an emergency reciprocal access easement from 8854 Calvine Road, the City shall design and install a gated emergency access road on the parcel located at 8480 Elk Grove-Florin Road (APN 115-0180-012), adjacent to Elk Grove-Florin Road. The emergency access road and gate shall be designed to the satisfaction of the City and CCSD Fire Department.	Building Permit	Engineering	

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56.	The Applicant shall acquire, dedicate, design and improve the westerly half-section of Elk Grove-Florin Road, along the Project's frontage and APN 115-0180-012 frontage, measured 48 feet from the approved centerline based on a 96-foot wide thoroughfare street, including a 36-foot wide landscape corridor and an 8-foot wide detached sidewalk in accordance with the City's Improvement Standards to the satisfaction of the City.	Building Permit	Engineering	
57.	The owner must contact Permit Services Unit at PermitServices@sacsewer.com or by phone at (916) 876-6100 to determine if sewer impact fees are due. Fees are to be paid prior to the issuance of building permits.	Building Permit	SacSewer	
58.	Prior to the issuance of any building permits for the Project, the Project developer/owner shall pay Zone 40 development fees applicable at the time of building permit issuance in accordance with Title 4 of the Sacramento County Water Agency (SCWA) Code.	Building Permit	SCWA	
59.	The Project area shall annex into the Maintenance Services Mello-Roos Community Facilities District 2006-1 (CFD), to fund the Project's fair share of landscape related maintenance costs associated with public parkways, public parks, open space, landscape setbacks, bike and other paths, landscaped medians in and adjacent to roadways, maintenance and operation of a community center, sports (including aquatic) facilities, cultural arts center, and water features, and maintenance of other related facilities. The annexation process can take several months, so the Applicant should plan accordingly. The application fee and completed application for the annexation is due prior to the Resolution of Intention to Annex the Property and Levy the Special Tax.	Building Permit	Finance	
60.	The Project area shall annex into the Storm Water Drainage Fee Zone 2 to fund a portion of the additional costs for storm water drainage and run-off maintenance related to serving the new development. The annexation process can take several months, so the Applicant should plan accordingly. The completed application for the annexation is due prior to the Resolution of Intention to Levy Storm Water Drainage Fee Zone 2 assessments.	Building Permit	Finance	

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61.	The Project area shall annex into the Street Maintenance Assessment District No. 1, Zone 3, to fund a portion of the additional costs for long term roadway maintenance related to serving the new development. The annexation process can take several months, so the Applicant shall plan accordingly. The application fee and completed application for the annexation is due prior to the Resolution of Intention to Levy Street Maintenance assessments.	Building Permit	Finance	
62.	The Applicant shall pay an in-lieu fee for parks and recreation in accordance with EGMC Chapter 16.80 (Park Land In-Lieu Fee), as applicable.	Building Permit	CCSD Parks	
63.	Prior to the issuance of any building permit, the Applicant shall (1) approve (a) the formation of a new or annexation into an existing community facilities district ("CFD") and (b) an annual CFD special tax; or (2) deposit a sum money, as determined by the Cosumnes Community Services District, sufficient for the Cosumnes Community Services District to fund a portion of the cost of the District's ongoing fire and emergency services, maintenance, operation, and repair and replacement of fire station facilities and fire and emergency equipment and routine and deferred maintenance and replacement of park facilities, trails and landscape corridors attributable to the property and (b) replacement of district wide facilities attributable to the property. Any costs for the approval and creation of such annual special tax, annexation of the Property into an existing Mello-Roos Community Facilities District for the Cosumnes Community Services District, or administration of the sum of money deposited to fund the fire and emergency services and maintenance of park facilities, trails and landscape corridors, shall be paid from the annual special taxes of the Community Facilities District or the sum of money deposited with the Cosumnes Community Services District. If the property owner(s) fails to approve an annual special tax or deposit a sum of money as provided for herein for such purposes for the Cosumnes Community Services District, no building permits for the property shall be issued or approval of the Improvement Plan shall be provided. It is the responsibility of the Applicant or their representative to contact the Cosumnes Community Services District at (916) 405-5600 to initiate the Community Facilities District process.	Building Permit	CCSD Fire	

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64.	Water mains and fire hydrants designated for the Project shall be installed, tested, flushed, inspected and able to provide the required fire flow per the requirements of CCSD Ordinance 21 prior to combustible construction.	Building Permit	CCSD Fire	
65.	The plans shall show required onsite and offsite fire access lanes and shall be installed prior to combustible construction or on-site storage of combustible materials.	Building Permit	CCSD Fire	
66.	A fire safety inspection by the Cosumnes Fire Department is required to verify that fire hydrants and fire lanes meet the requirements of Chapter 33 of the California Fire Code prior to commencement of vertical construction. Fire lanes shall be marked NO PARKING FIRE LANE.	Building Permit	CCSD Fire	
67.	The Project shall comply with the requirements of Section 503 of the California Fire Code. The Project requires an alternative means and methods required (AMMR), which include increase construction type/features for all breezeways and stairwells and increase design of fire sprinkler system to full NFPA 13.	Building Permit	CCSD Fire	
68.	Projects shall provide onsite fire access to within 150 feet of all portions of the building as measured by an approved route around the exterior of each building.	Building Permit	CCSD Fire	

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69.	<p>Provide Fire Access Roadway Maintenance Agreement (RMA) between Cosumnes Community Services District and all parcels connected to and served by the fire access roadway shown on the Project plans. Fire Access Roadway Maintenance Agreement shall be on the form provided by the District and recorded with the Sacramento County Recorder. The roadway maintenance agreement shall include the following:</p> <ul style="list-style-type: none"> • Provisions for the necessary repair and maintenance of the roadway surface • Removal of vegetation overgrowing the roadway and infringing on the roadway clear vertical height of thirteen feet six inches (13'-6") or width of twenty feet (20') • Provisions for the maintenance, repair, and/or replacement of NO PARKING-FIRE LANE signage or striping • Provisions for the necessary repair and maintenance of vehicle and pedestrian access gates and opening systems 	Building Permit	CCSD Fire	
70.	The Project shall comply with all applicable labor standards in Government Code Section 65913.4 and submit to City all applicable labor standard certifications.	Building Permit	Planning	
71.	Construction of the Project shall be subject to California prevailing wage laws. All construction workers for the Project shall be paid at least the general prevailing rate of per diem wages for the type of work and geographic area, as determined by the Director of Industrial Relations pursuant to Section 1773 and 1773.9 of the Labor Code, except that apprentices registered in programs approved by the Chief of the Division of Apprenticeship Standards may be paid at least the applicable apprentice prevailing rate. The Applicant shall ensure that the prevailing wage requirement is included in all contracts for the performance of the work. All contractors and subcontractors shall pay to all construction workers employed in the execution of the work at least the general prevailing rate of per diem wages, except that apprentices registered in programs approved by the Chief of the Division of Apprenticeship Standards may be paid at least the applicable apprentice prevailing rate. (Gov. Code § 65913.4(a)(8).)	Building Permit and On-Going	Planning	

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PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY				
72.	Approved radio coverage for emergency responders shall be provided in accordance with the California Fire Code and Cosumnes Fire Department standards.	Prior to Issuance of Certificate of Occupancy	CCSD Fire	
73.	Pursuant to Government Code section 66007(b)(2), collection of eligible impact fees may be deferred until the date of the final inspection for the Project, or the date the certificate of occupancy is issued, whichever occurs first. Any such deferral shall comply with Government Code section 66007 and shall require a Fee Deferral Agreement in a form satisfactory to the City Attorney. The Fee Deferral Agreement shall require the posting of a performance bond or a letter of credit from a federally insured, recognized depository institution to guarantee payment of any fees or charges that are subject to deferral pursuant to Government Code section 66007.	Prior to Issuance of Certificate of Occupancy	Building Planning Engineering	
74.	The following shall be completed prior to Final Certificate of Occupancy issuance, including but not limited to: <ul style="list-style-type: none"> • Approved Record Drawing • All applicable conditions of approval • Other public agencies (sewer, water, etc.) acceptance • SWPPP Notice Of Termination or Change Of Information • Model Water Efficient Landscape Ordinance Certificate • Project account current Temporary Certificate of Occupancy issuance is at the discretion of the Development Services Director.	Prior to Issuance of Certificate of Occupancy	Engineering	